



# PERMIT APPLICATION

## TOWN OF ULYSSES PLANNING DEPARTMENT

**INSTRUCTIONS:** Complete form, sign, and date.  
See applicable application packet for all required checklist items.

CONTACT INFORMATION				
APPLICANT	JACK LITZENBERGER			
ADDRESS	450 CORTLAND RD			
CITY	Freeville	STATE	NY	ZIP 13068
PHONE	[REDACTED]	EMAIL	[REDACTED]	

OWNER	SPAN & JEANINE KENNEDY			
ADDRESS	11 JOHN ST			
CITY	ITACA	STATE	NY	ZIP 14850
PHONE		EMAIL		

PRIMARY CONTACT:  APPLICANT    OWNER    OTHER, PLEASE SPECIFY BELOW

NAME			
PHONE		EMAIL	

PROJECT SITE INFORMATION	
ADDRESS	1457 TAUGHANNOCK BWO ITACA NY 14850
PARCEL NO(S)	17 - 1 - 22

PROJECT INFORMATION	
PROJECT NAME	KENNEDY
PROJECT DESCRIPTION	NEW CONVENTIONAL FRAMED DETACHED GARAGE (3 CAR) 30' x 48'
VALUATION	\$200,000

**Authorization:** I am the owner or am authorized by the owner to sign and submit this application. I certify under penalty of perjury of the laws of the State of New York that the information on this application and all information submitted herewith is true, complete, and correct.

SIGNATURE		DATE	5/13/25
PRINT NAME	JACK LITZENBERGER		
CITY, STATE	FREEVILLE NY		

**Prepared For**

Sean and Jeanine Kennedy 48' x 30' Garage  
 1457 Taughannock Blvd  
 Ithaca, NY 14850

**2 Pro's Construction, LLC.**

P.O. Box 5402  
 Cortland, NY 13045  
 Phone: [REDACTED]  
 Email: [REDACTED]  
 Web: www.2prosconstruction.com

Estimate #            2202  
 Date                    05/13/2025

**Description****48' x 30' 3 Bay Garage - Unfinished Interior With Attic**

2 Pros Construction to provide all building permits including fees  
 Owner will provide Architectural stamped plans by others to obtain Building permits.  
 2 Pros Construction to clean-up all job related debris from job site  
 2 Pros Construction to provide dumpster on site for construction debris removal

**Demolition -**

Remove existing barn structure on site for purpose of installing new garage

**Excavation -**

Remove trees as needed and rough grade site as needed for new 36 x 30 garage  
 Excavate by machine (22) post holes approximately 42" - 48" below grade  
 Backfill post (22) post holes with #1 stone & native soil - tamp soil around hole

**Concrete -**

Supply & install (22) concrete piers at the bottom of post holes  
 Supply & install a 5" fiber re-enforced concrete pad with a 4" #2 stone base underneath &  
 1" deep expansion joints every 8', smooth finish only  
 NOTE - includes 4' tapered apron at (3) overhead door locations

**Framing -**

Supply & install (22) pressure treated 4" x 6" support posts from top of pier to bottom  
 of attic trusses  
 Supply & install 2" x 4" SPF exterior walls @ 16" o.c. including (12) windows,  
 (2) overhead door & (1) entry door openings  
 Supply & install (1) double LVL door header at (3) overhead door locations  
 Supply & install (8) pre-engineered Attic trusses 12/12 pitch & (17) Common Trusses  
 4/12 pitch, 2' o.c. 1' overhang, #50 roof load  
 Supply & install 7/16" Zip Wall plywood sheathing on exterior walls with taped seams

Supply & install 3/4" OSB T & G subfloor plywood sheathing  
Supply & install 1/2" Zip Roof plywood roof sheathing with taped seams

Windows -

Supply & install (14) Vinyl Max white/white Double Hung Window units, with NO grilles  
Window material allowance of \$8,000

Doors -

Supply & install (1) Pre-finished Therma Tru Smooth Star entry door unit with PVC composite jambs & lockset

Entry door material allowance of \$1,600

Supply & install (3) 10 x 8 overhead garage doors with (1) row of rectangle lights, (3) motors & remotes

Overhead door material allowance of \$10,500

Stairs -

Supply & install (1) set of syp paint-grade pre-built stairs with standard railing system at the top in the attic

Roofing -

Supply & install architectural fiberglass roof shingles including ice & water shield, drip edge & ridge vent

Supply & install (1) cupola on the roof with windows Cupola material allowance of \$650

Siding -

Supply & install Pre-finished LP Smartside Vertical Siding & Tru Exterior Flat casing

Supply & install white vented soffit in overhangs

Electrical -

Supply & install rough-in electrical for lights, switches & outlets to garage

Supply & install (3-4) single pole light switches

Supply & install (14-16) duplex outlets on walls

Supply & install (16-18) LED puck style light fixtures

Supply & install (2) exterior flood light with motion sensor outside entry door

Floodlight material allowance of \$150

Supply & install (2) duplex outlet in garage ceiling for overhead motor

Work Bench -

Supply & install a custom work bench with 2" x 4" framing, underneath storage bench & top bench with 3/4" A/C plywood tops slat board wall & hooks behind the bench for hanging tools

NOTE - bench dimensions are 2' x 14', bottom bench 10" off, top bench at 34" off

HVAC -

No HVAC included in this proposal

Insulation -

No insulation included in this proposal

Drywall -

No drywall finishes included in this proposal

Millwork -

No interior millwork included in this proposal

Plumbing -

Supply & install rough-in for PVC waste lines & PEX supply lines in the concrete slab for future use, location TBD

Painting -

No interior painting finishes included in this proposal

Flooring -

No interior flooring finishes included in this proposal

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**Subtotal**

**\$0.00**

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# 1457 TAUGHANNOCK BLVD. - GARAGE

JEANINE & SEAN KENNEDY

ITHACA, NY 14850

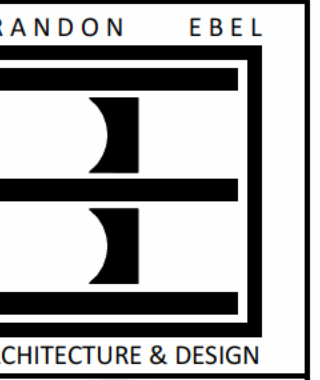


## GENERAL PROJECT NOTES

- 1 Refer to Specifications, DIVISION 01, for additional information and requirements.
- 2 Drawings and specifications, as instruments of service, remain the property of Architect and are protected under common law copyright provisions. They are not to be reused except by written agreement and with the agreed compensation to the architect. If reused without permission, the architect shall be indemnified and held harmless from all liability, legal exposure, claims, damages, losses and expenses.
- 3 Unauthorized alterations or additions to a drawing bearing a licensed architect's seal is a violation of NYS Education Law, Article 147, and Commissioner's Regulations Part 69.
- 4 Drawings are drawn to scale for the convenience of all parties, but do not scale drawings. Written dimension shall govern.
- 5 Notes on one drawing, section or detail apply to all similar drawings, sections or details.
- 6 Install all products in accordance with the manufacturer's written instructions and recommendations, and the standards of recognized agencies and associations.
- 7 All electrical work shall be carried out by a licensed electrician, as required by the local Authority Having Jurisdiction. All work, materials and equipment shall conform to the provisions of the relevant building codes, latest edition.
- 8 All plumbing work shall be carried out by a licensed plumber, as required by the local Authority Having Jurisdiction. All work, materials and equipment shall conform to the provisions of the relevant building codes, latest edition.
- 9 Contractors shall not install any materials containing asbestos, lead, mercury or PCB.
- 10 Notify architect of any discrepancies in the drawings or specifications prior to start of construction.

## DRAWING LIST

DRAWING NUMBER	DRAWING NAME
01 - GENERAL	
A000	COVER SHEET
A001	NOTES & SYMBOLS
04 - LANDSCAPE	
L100	SITE PLAN
05 - STRUCTURAL	
S101	FRAMING PLANS
06 - ARCHITECTURAL	
A101	FLOOR PLANS
A102	ROOF PLAN
A103	REFLECTED CEILING PLAN
A201	ELEVATIONS
A301	BUILDING SECTIONS
A302	WALL SECTIONS
A501	DETAILS
11 - ELECTRICAL	
E101	ELECTRICAL PLAN



1457 TAUGHANNOCK BLVD. - GARAGE

JEANINE & SEAN KENNEDY  
SCHEMATIC DESIGN  
PRELIMINARY NOT FOR CONSTRUCTION

ITHACA, NY 14850

### REVISIONS

A	DESCRIPTION	DATE

Project # 2025.02

Date 04/15/25

SCHEMATIC DESIGN

COVER SHEET

A000

1/4" = 1'-0"

**C1** VICINITY MAP

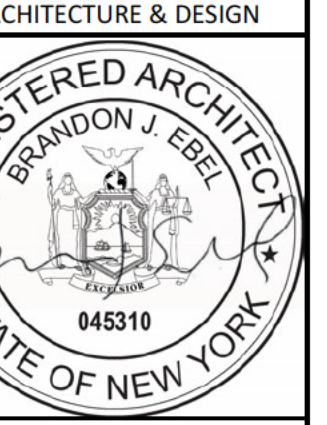
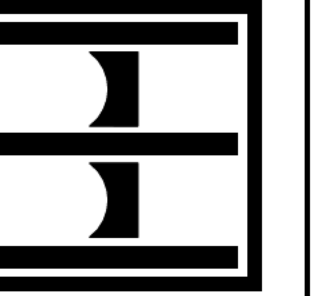


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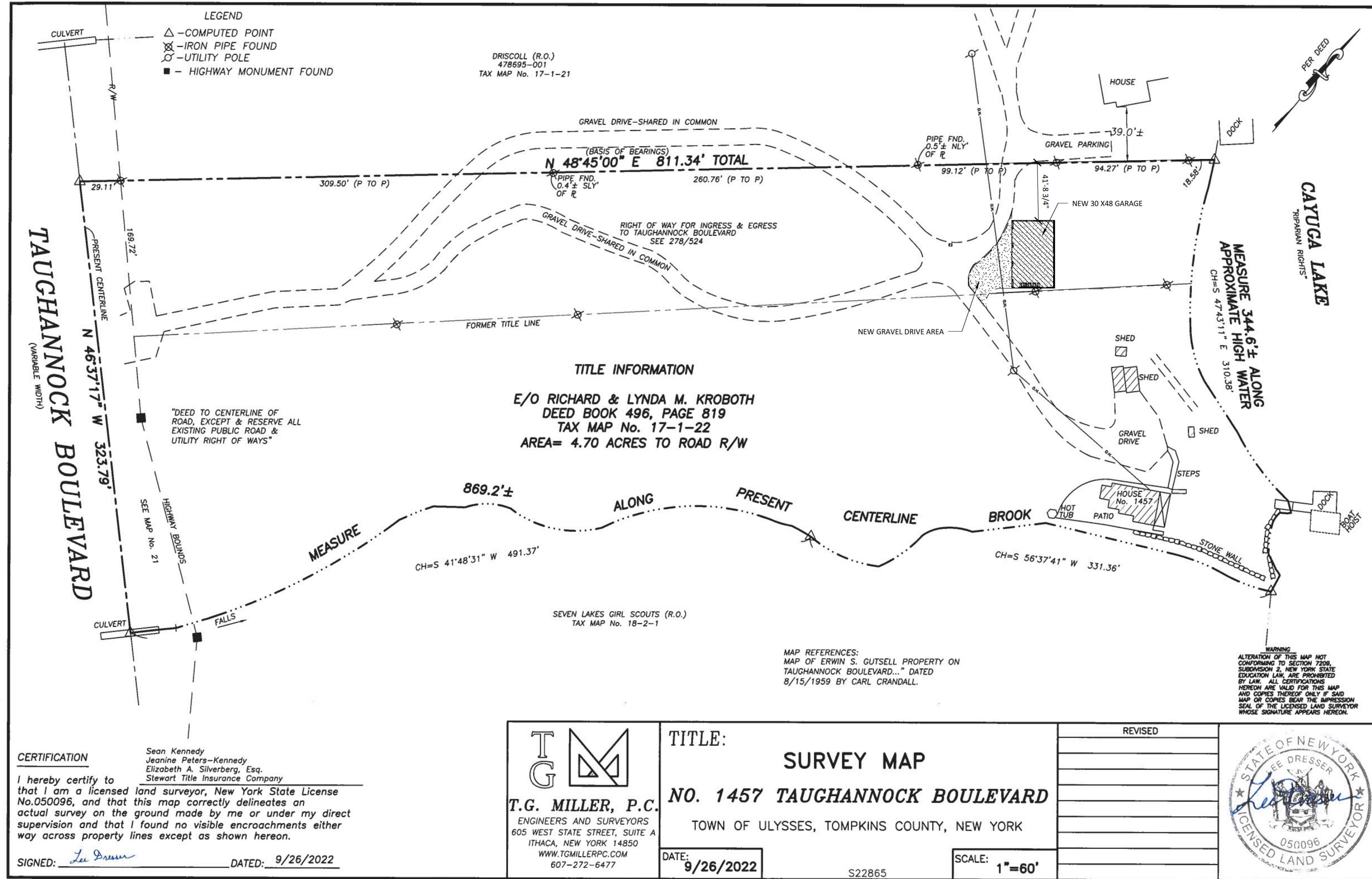
REVISIONS	
A	DESCRIPTION

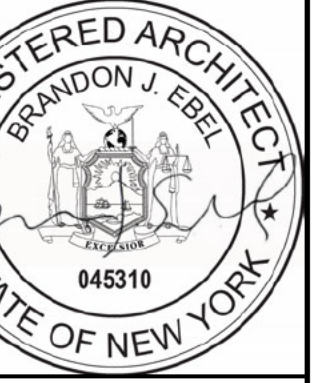
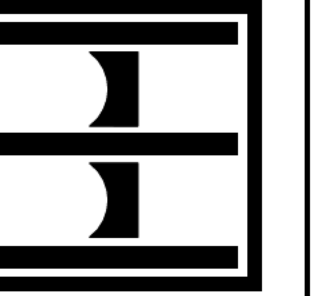
Project # 2025.02  
Date 04/15/25

SCHEMATIC DESIGN

SITE PLAN

L100  
1" = 40'-0"





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REVISIONS

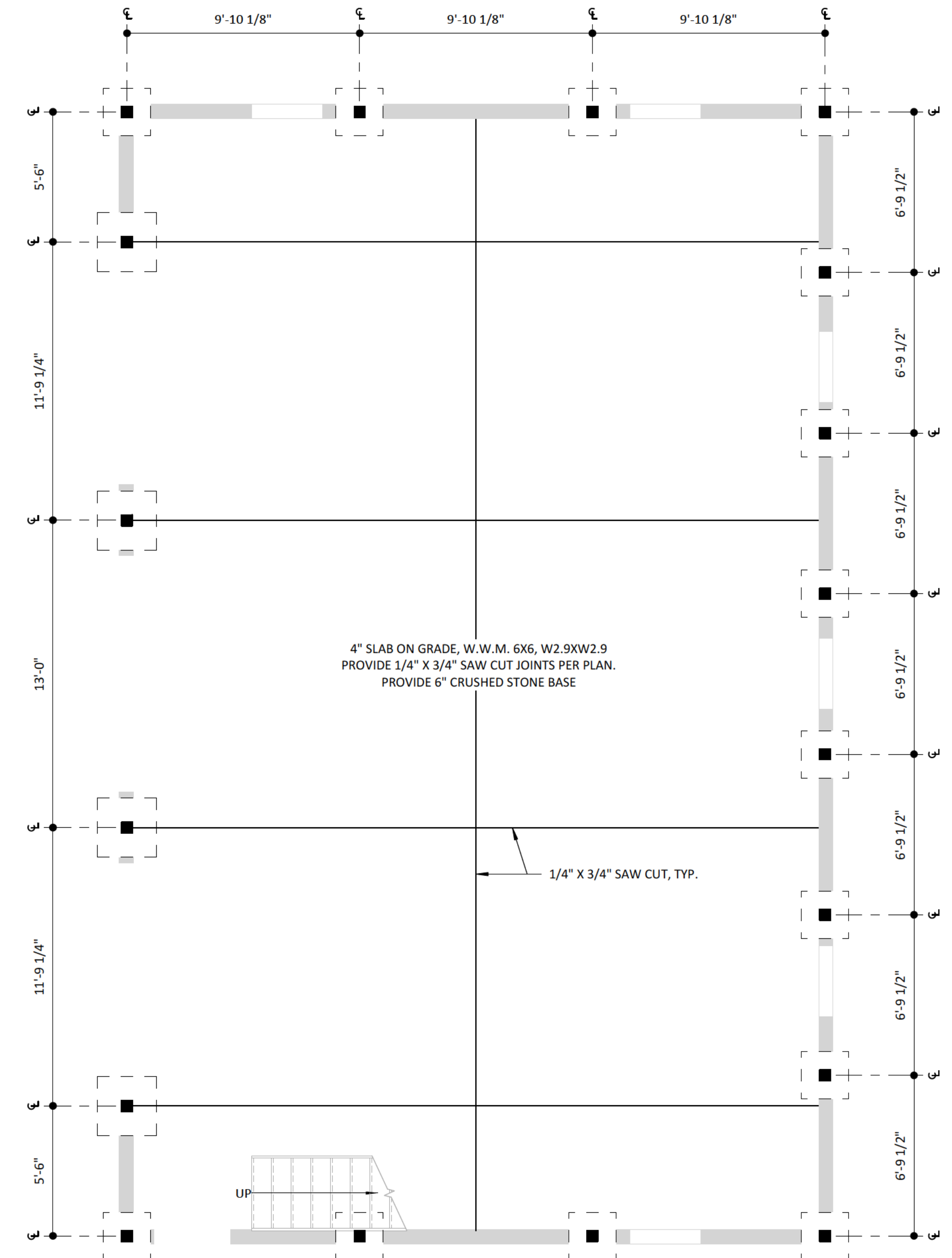
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Project # 2025.02  
Date 04/15/25

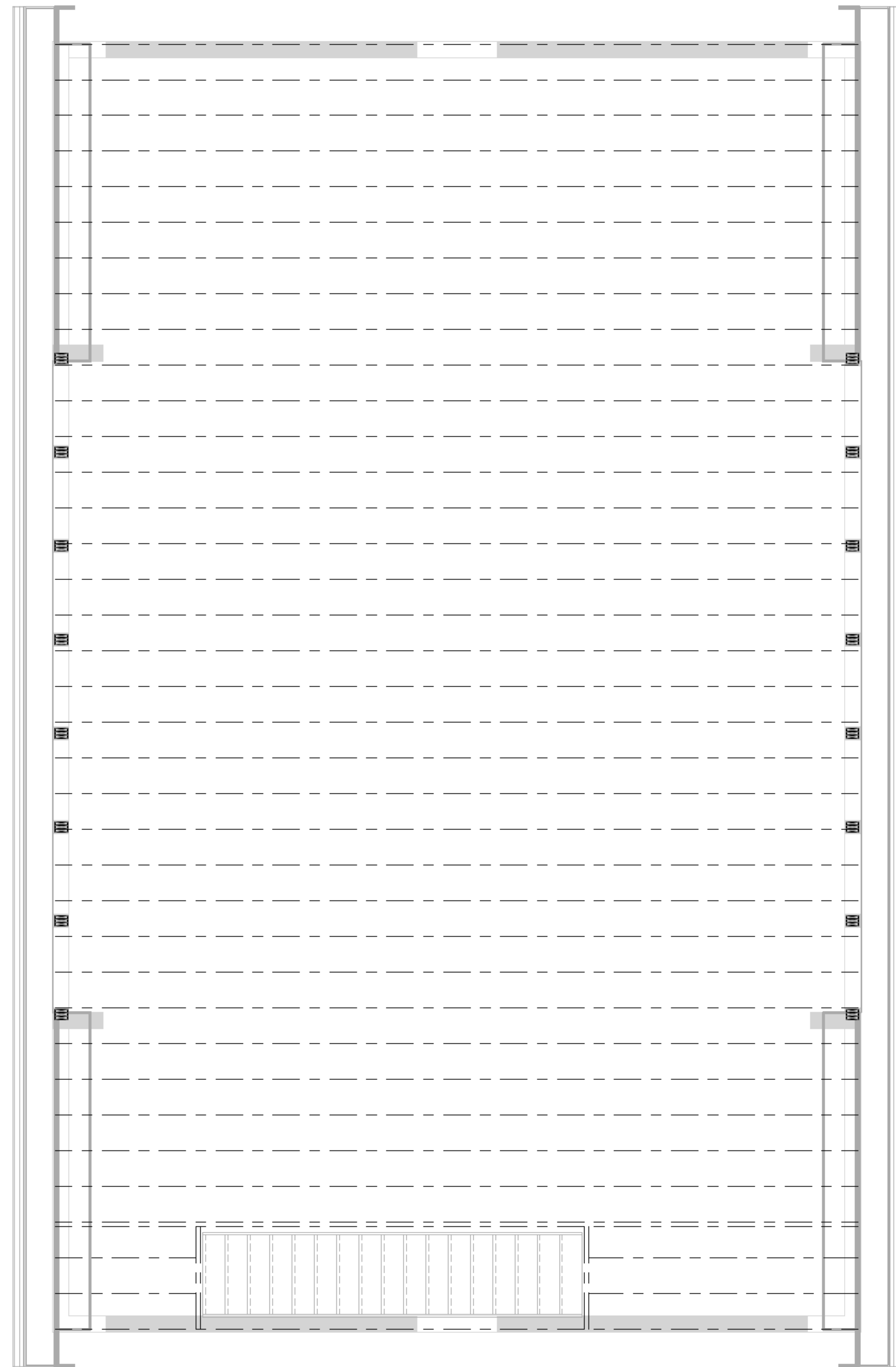
SCHEMATIC DESIGN

FRAMING PLANS

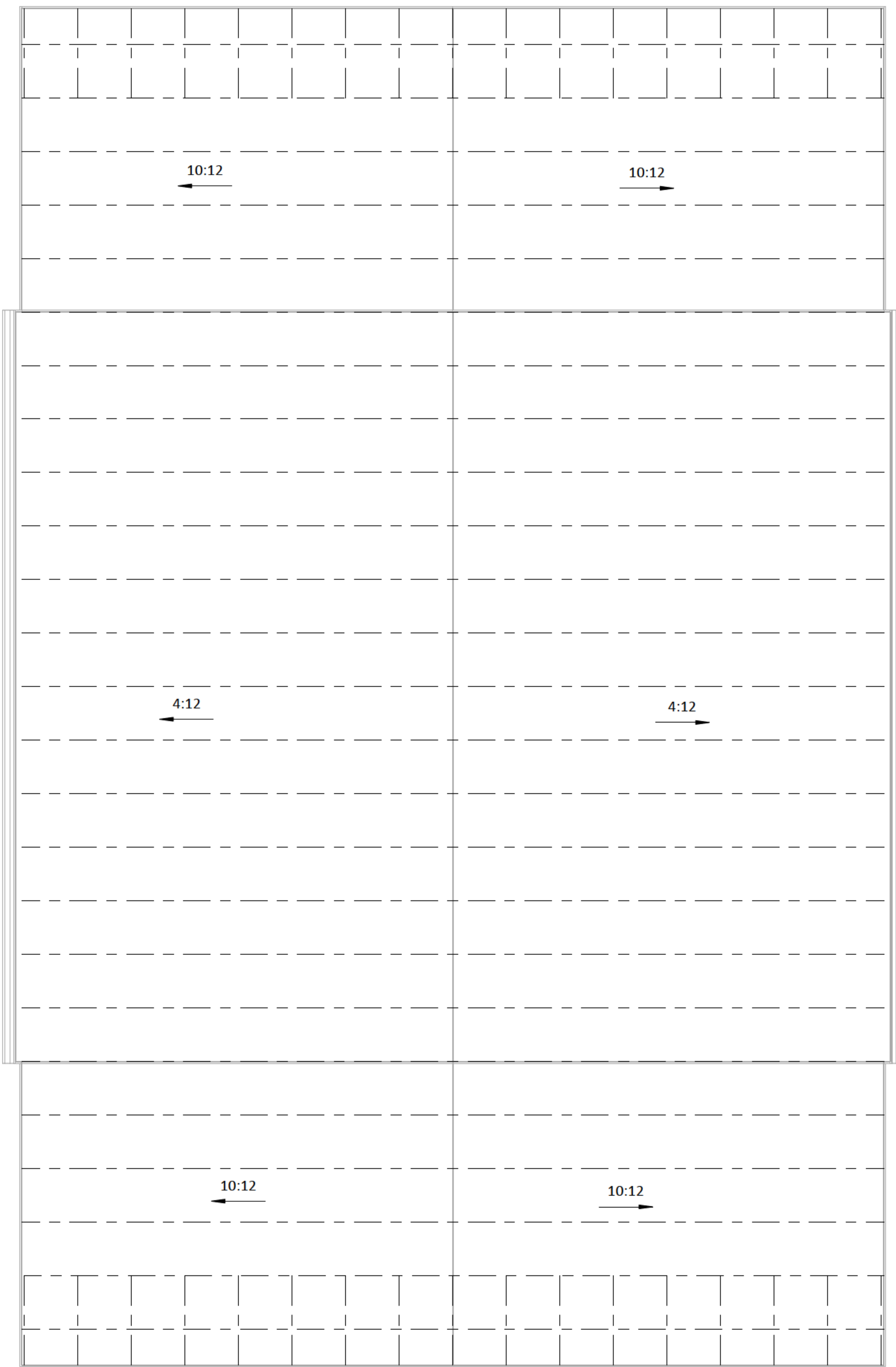
S101  
1/4" = 1'-0"



**1** STRUCTURAL PLAN - 1ST FLOOR  
1/4" = 1'-0"



**2** STRUCTURAL PLAN - 2ND FLOOR  
1/4" = 1'-0"



**3** STRUCTURAL PLAN - ROOF  
1/4" = 1'-0"

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WINDOW SCHEDULE - TYPE BASED											
TYPE	UNIT WIDTH	UNIT HEIGHT	SILL HEIGHT	DESCRIPTION	U-VALUE	SHGC	VL T	TEMPERED	EGRESS	FALL PROTECTION	COMMENTS
W1	3' - 0"	5' - 0"	<varies>	DOUBLE HUNG							

DOOR SCHEDULE - TYPE BASED							
MARK	WIDTH	HEIGHT	DESCRIPTION	FRAME MATERIAL	PANEL MATERIAL	FIRE RATING	COMMENTS
D1	3' - 0"	7' - 0"	2-PANEL MASONITE				
D2	10' - 0"	8' - 0"	OVERHEAD GARAGE DOOR			As Specified in 08360	

GENERAL SHEET NOTES - PLANS	
1	Refer to wall schedules for wall and partition types, components, fire resistance, etc.
2	All dimensions are to the face of studs, masonry or concrete, unless noted otherwise.
3	Unless noted otherwise, all gypsum wall board (GWB) shall be 5/8", Type 'X'.
4	Unless noted otherwise, all partitions shall extend to underside of deck or structure above.
5	Unless noted otherwise, space control joints in GWB walls and ceilings as required by ASTM C 840.
6	Floor elevation 0.00 is equivalent to elevation FFE on Site/Civil Plans.
OPENINGS	
1	Refer to door and window schedules for types, sizes, fire resistance and additional information.
2	Provide access doors as required to reach MEP items requiring maintenance or adjustment. Coordinate type and size with MEP trades.
3	Provide double studs at all door jambs.
4	Provide (2) 2x6 headers (or steel stud equivalent) over windows and single door openings, unless noted otherwise.
5	Provide concealed blocking behind door wall stops, and install stops as soon as practical, to prevent damage to walls.
STAIRS AND RAILINGS	
1	Handrails, guardrails and grab bars shall resist loads described in IBC Section 1607.8.

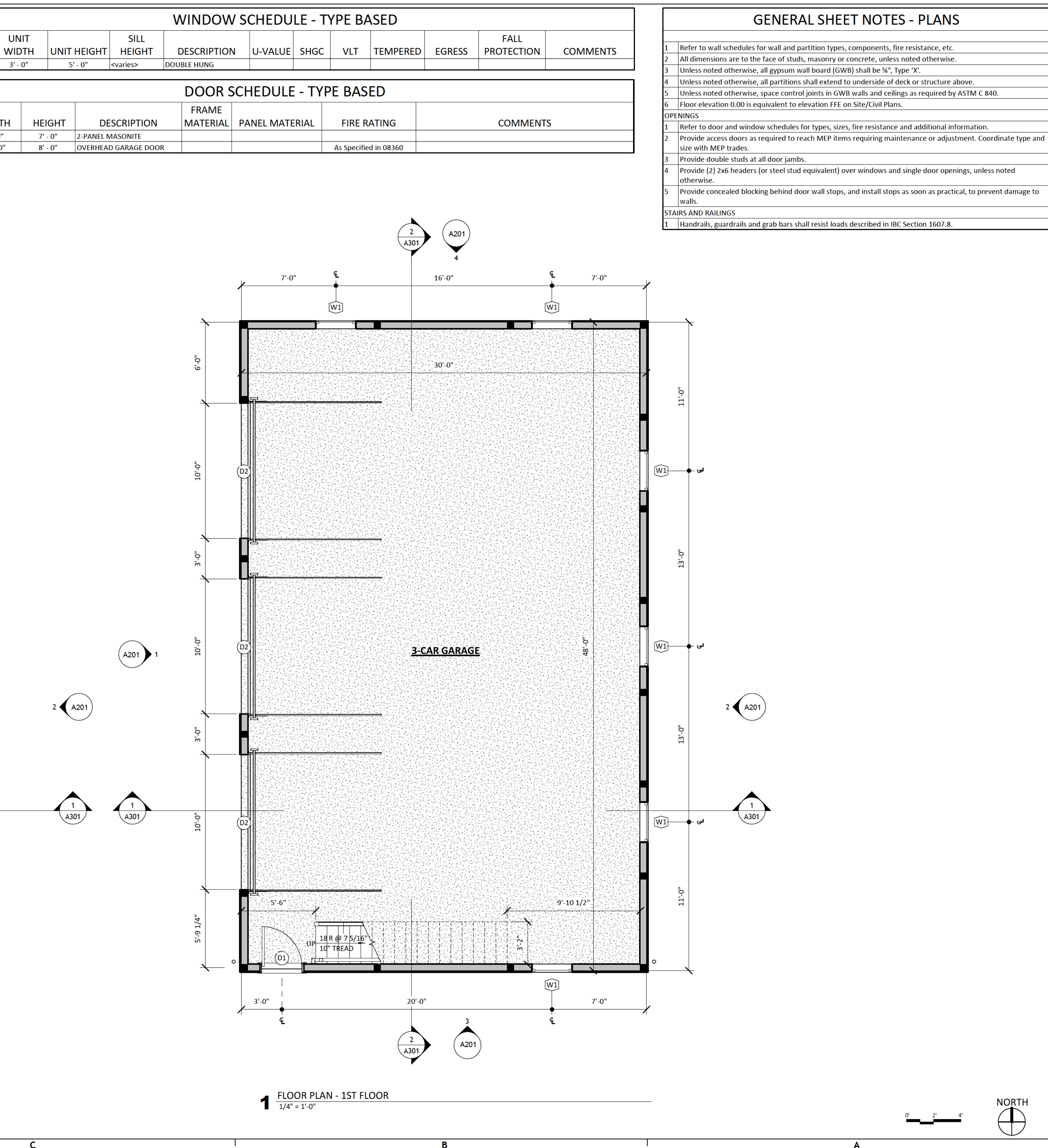
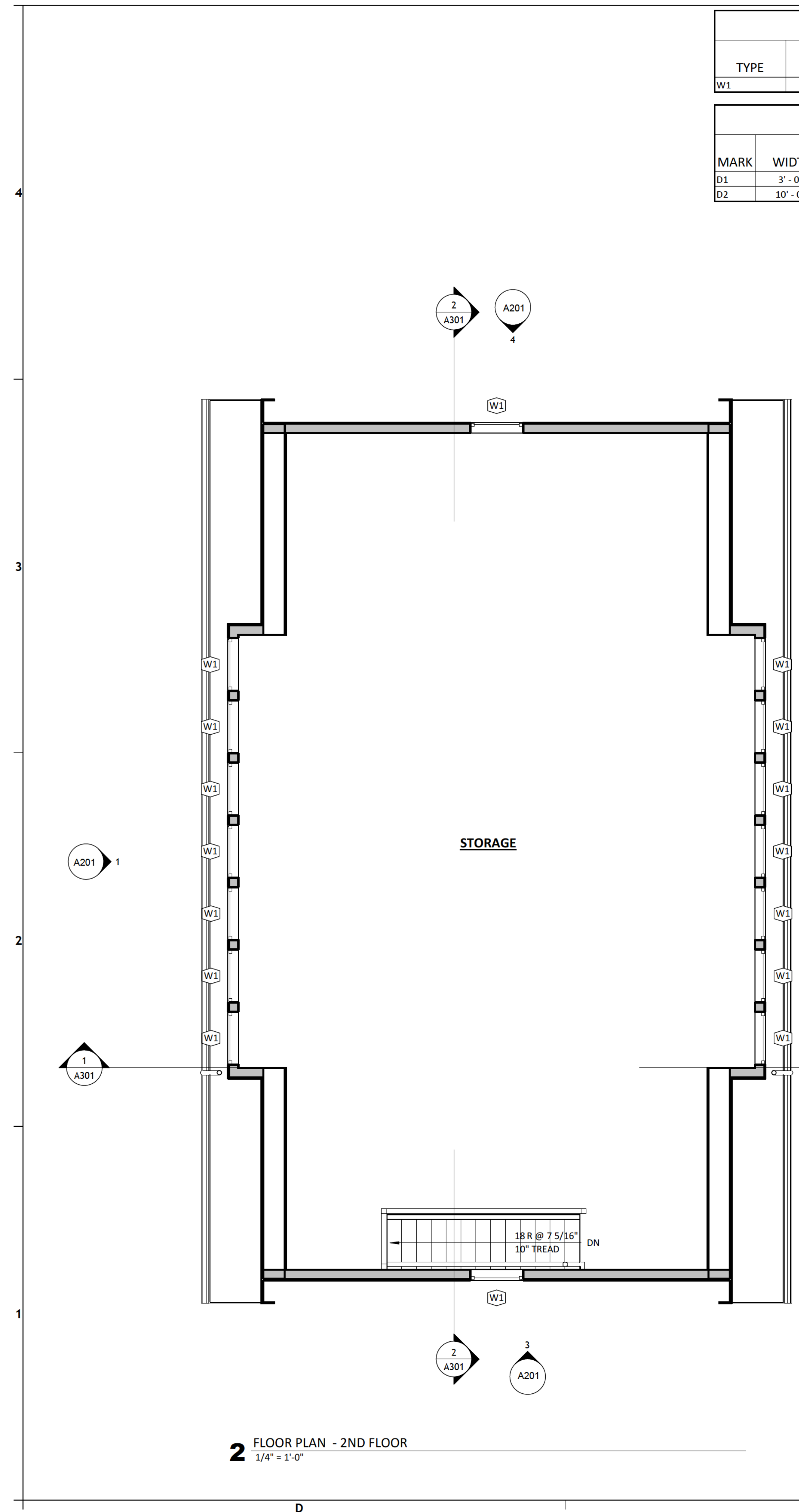


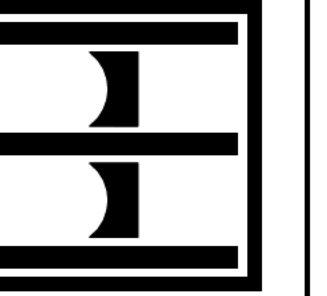
**1457 TAUGHANNOCK BLVD. - GARAGE**  
 JEANINE & SEAN KENNEDY  
 ITHACA, NY 14850  
**SCHEMATIC DESIGN**  
 PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS		
A	DESCRIPTION	DATE

Project # 2025.02  
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 SCHEMATIC DESIGN

**FLOOR PLANS**  
**A101**  
 1/4" = 1'-0"





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ITHACA, NY 14850

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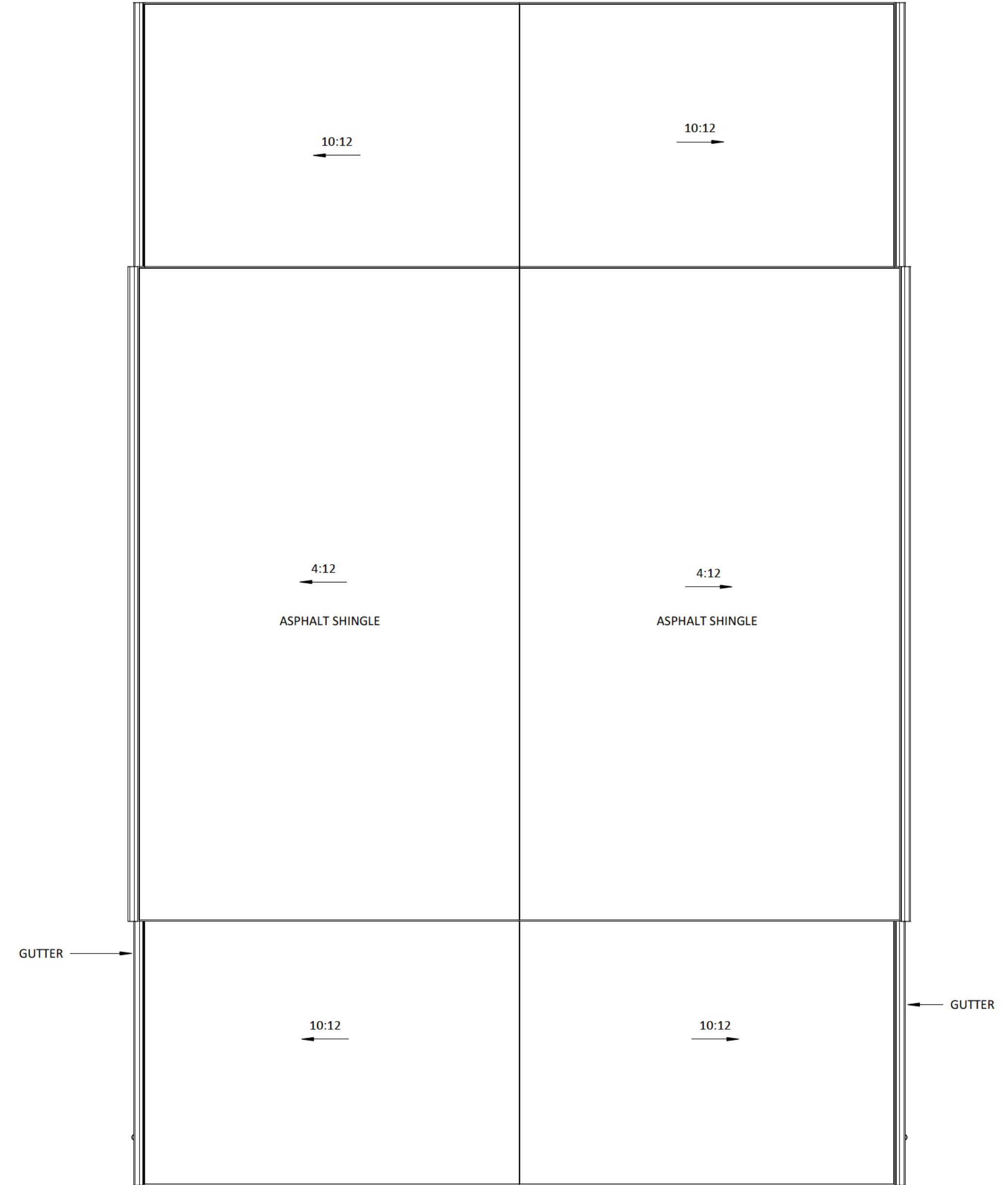
Date 04/15/25

SCHEMATIC DESIGN

ROOF PLAN

A102

1/4" = 1'-0"



1 FLOOR PLAN - ROOF  
1/4" = 1'-0"

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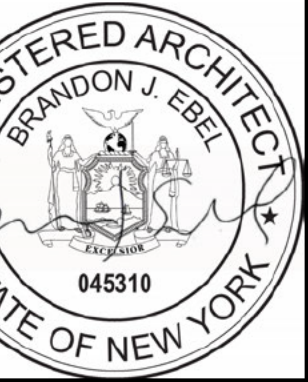
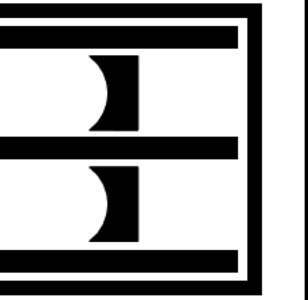
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ITHACA, NY 14850

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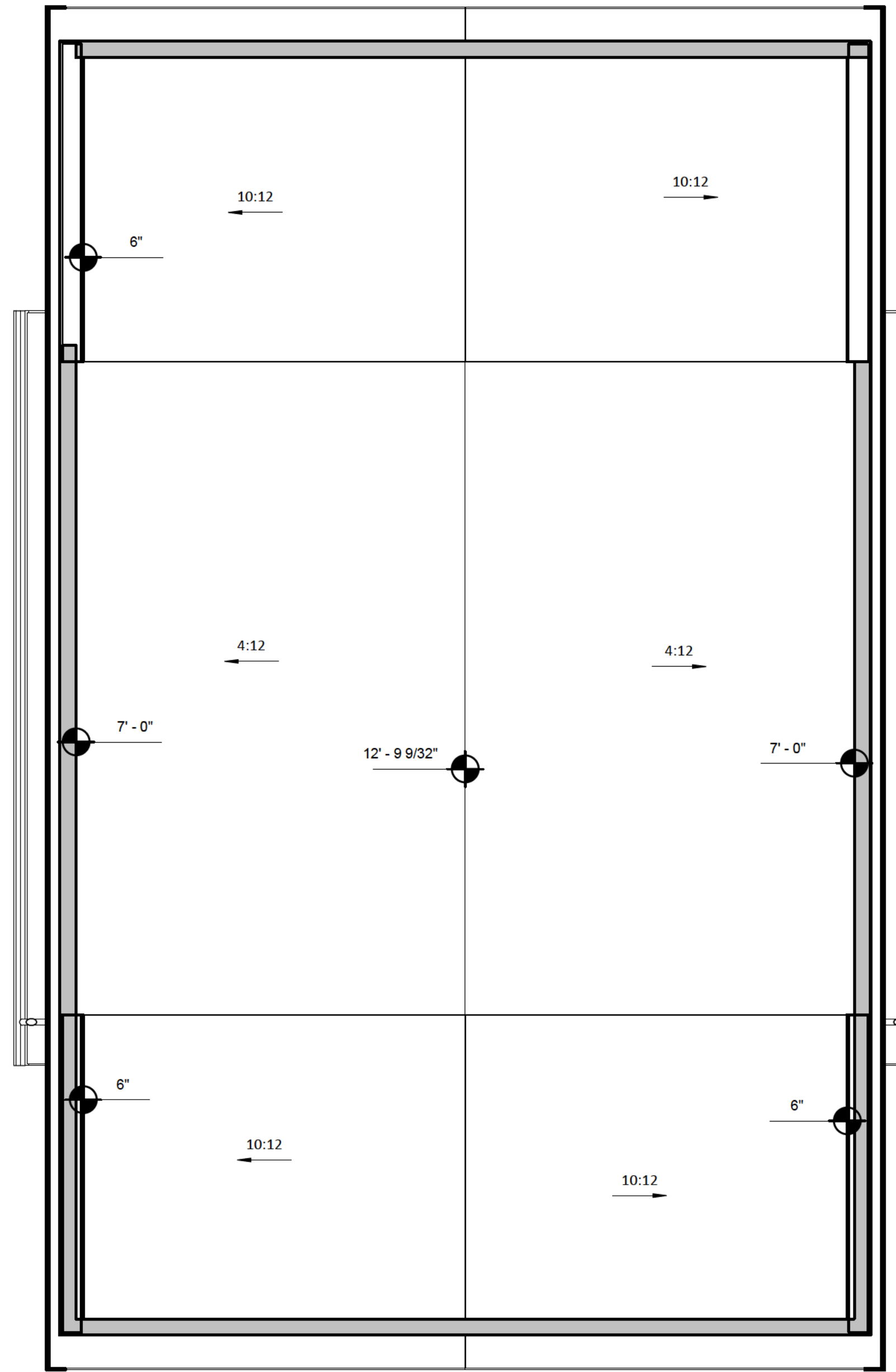
Date 04/15/25

SCHEMATIC DESIGN

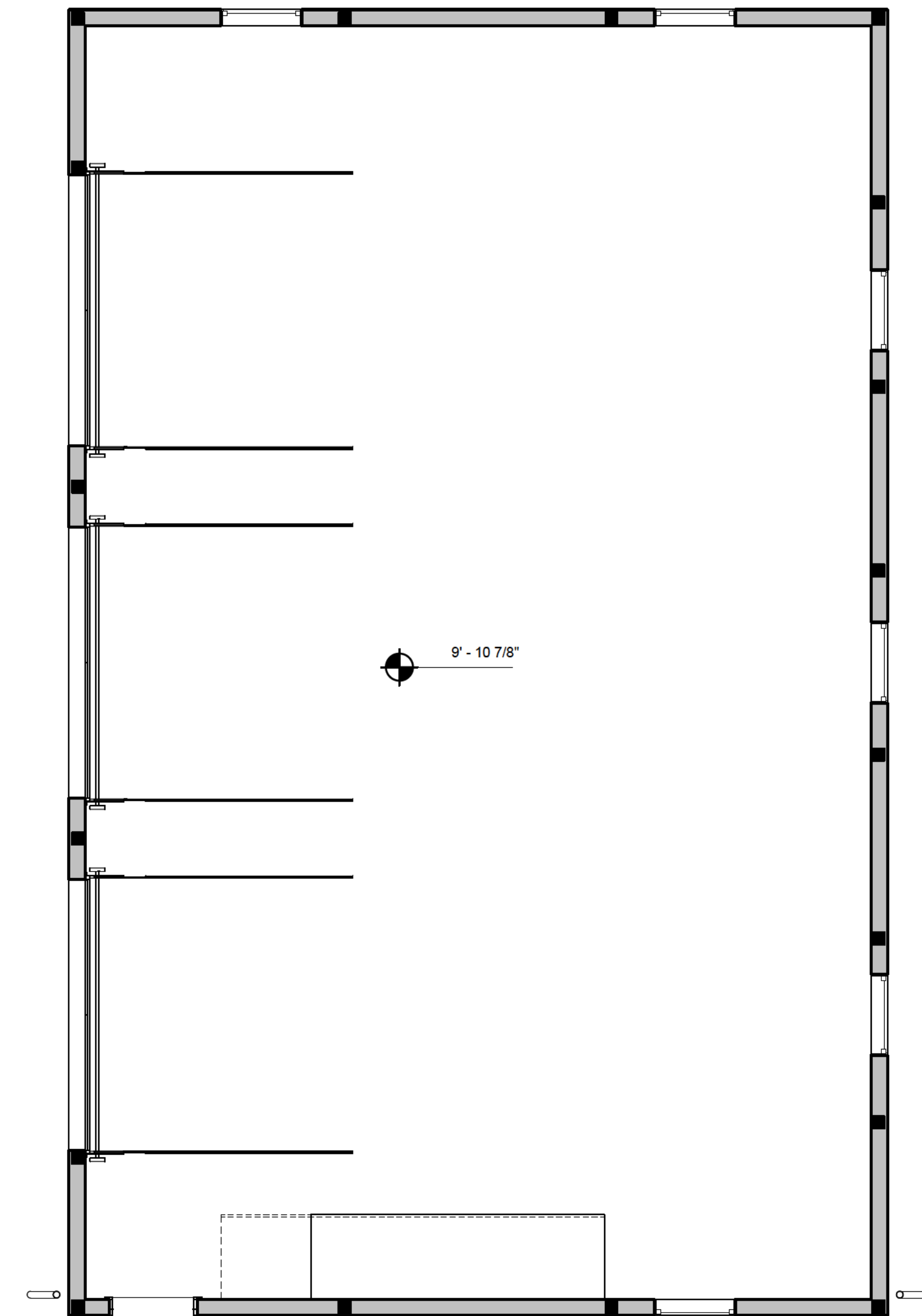
REFLECTED CEILING PLAN

A103

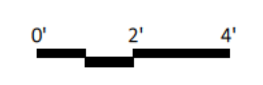
1/4" = 1'-0"



**2** RCP - 2ND FLOOR  
1/4" = 1'-0"



**1** RCP - 1ST FLOOR  
1/4" = 1'-0"



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- GENERAL SHEET NOTES - ELEVATIONS**
- 1 Refer to Specifications, DIVISION 01, for additional information and requirements.
  - 2 Coordinate exterior elevation work with floor plans, window schedule and door schedule.
  - 3 See schedules for head heights - coordinate adjacent window and door rough openings to ensure alignment of head casings.
  - 4 Coordinate location of safety glazing with Architect, prior to ordering doors or windows.
  - 5 Coordinate quantity, location and type of Window Operation Control Devices (WOC) with Architect, prior to ordering windows.
  - 6 Coordinate exterior elevation work with MEP drawings. Unless noted otherwise, center light fixtures, louvers and similar items on door and window openings. Consult Architect prior to roughing in.
  - 7 Floor elevation 0.00 is equivalent to elevation FFE on Site/Civil Plans.



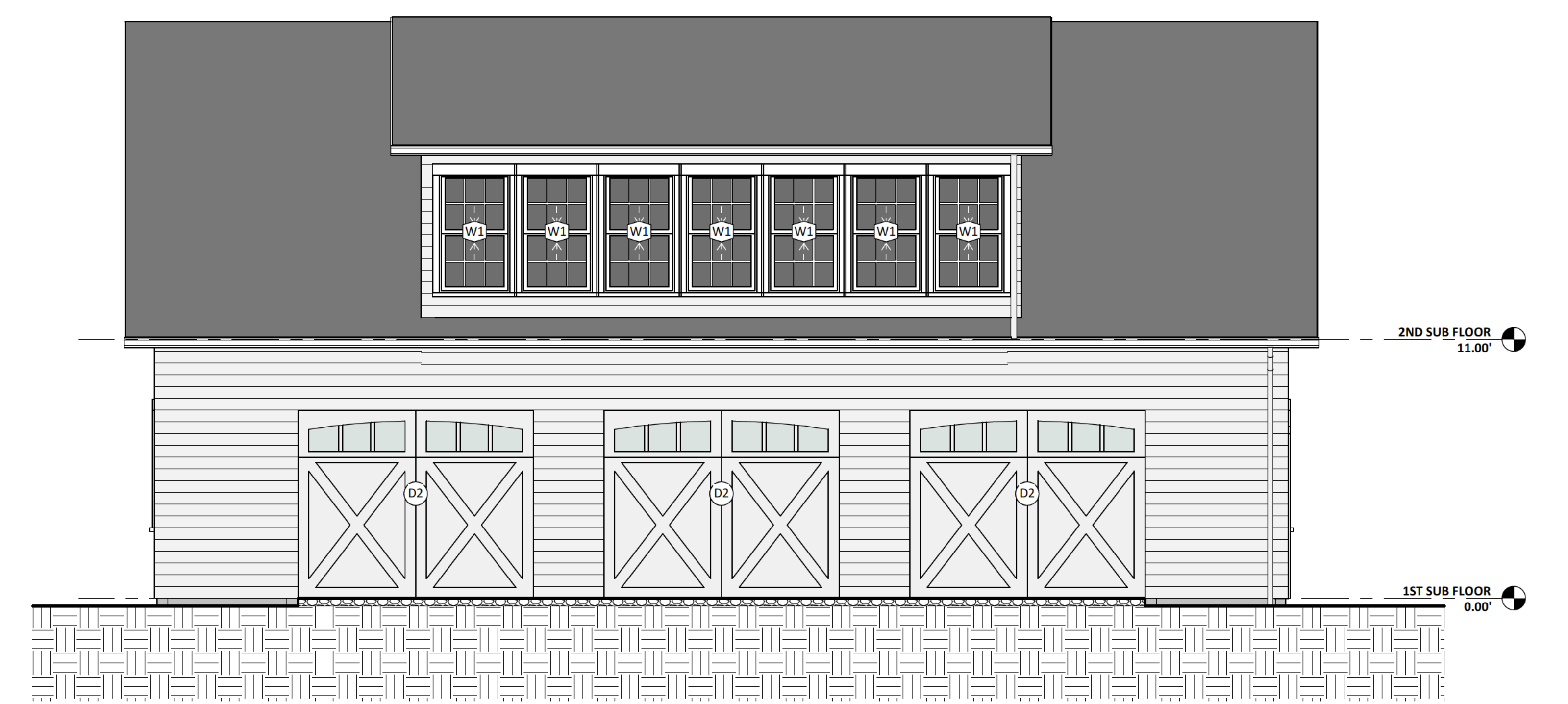
**4 NORTH ELEVATION**  
1/4" = 1'-0"



**2 EAST ELEVATION**  
1/4" = 1'-0"



**3 SOUTH ELEVATION**  
1/4" = 1'-0"



**1 WEST ELEVATION**  
1/4" = 1'-0"



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JEANINE & SEAN KENNEDY  
ITHACA, NY 14850

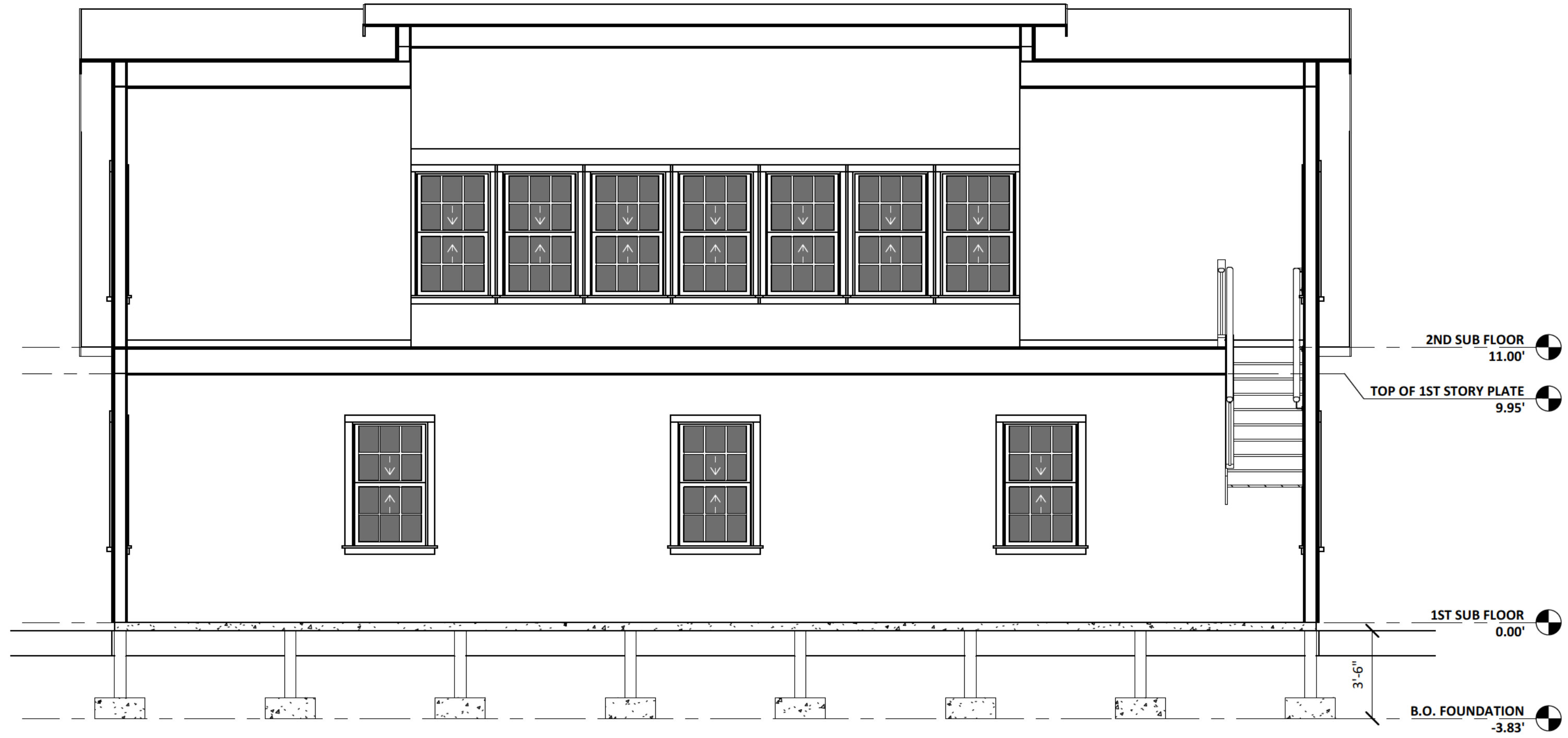
**SCHEMATIC DESIGN**  
PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS		
A	DESCRIPTION	DATE

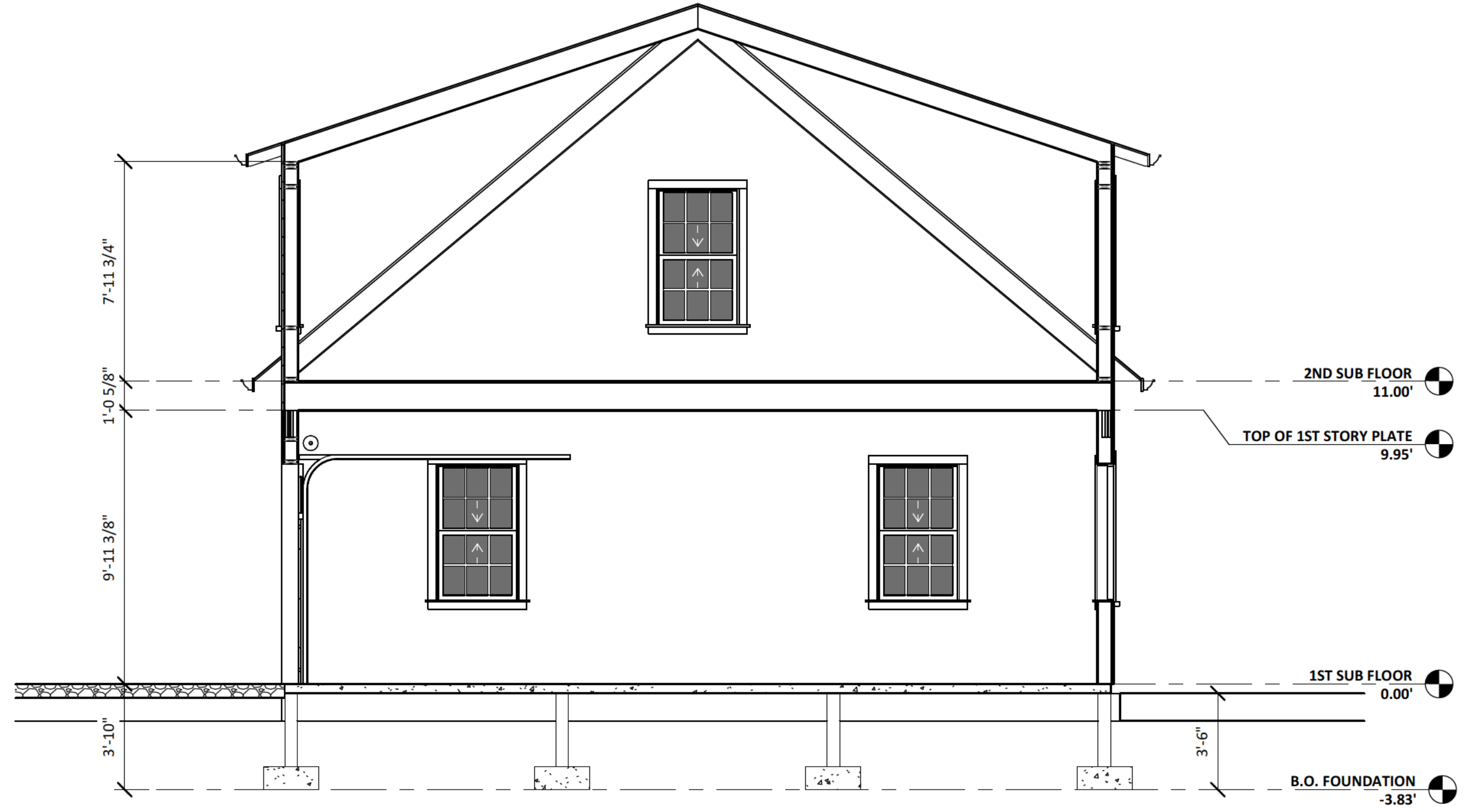
Project # 2025.02  
Date 04/15/25  
SCHEMATIC DESIGN

ELEVATIONS  
**A201**  
1/4" = 1'-0"

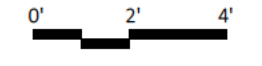
GENERAL SHEET NOTES - SECTIONS	
1	Refer to Specifications, DIVISION 01, for additional information and requirements.
2	Notes on one drawing, section or detail apply to all similar drawings, sections or details.
3	Floor elevation 0.00 is equivalent to elevation FFE on Site/Civil Plans.



**2** BUILDING SECTION 2  
1/4" = 1'-0"



**1** BUILDING SECTION 1  
1/4" = 1'-0"



**1457 TAUGHANNOCK BLVD. - GARAGE**  
 JEANINE & SEAN KENNEDY  
 ITHACA, NY 14850

**SCHEMATIC DESIGN**  
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REVISIONS		
A	DESCRIPTION	DATE

Project # 2025.02  
 Date 04/15/25  
 SCHEMATIC DESIGN

BUILDING SECTIONS

**A301**  
 1/4" = 1'-0"

4  
3  
2  
1

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## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

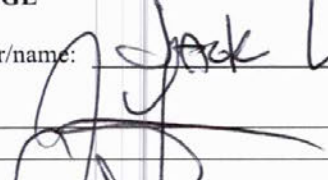
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: <b>JACK LITZENBERGER 2pro's CONSTRUCTION LLC.</b>			
Project Location (describe, and attach a location map): <b>KENNEDY NEW HOME</b>			
Brief Description of Proposed Action: <b>1457 TAUGHANNOCK BLVD NHAACA NY 14850</b>			
<b>NEW HOME CONSTRUCTION WITH DETACHED GARAGE</b>			
<b>ALL CONVENTIONAL FRAME</b>			
Name of Applicant or Sponsor: <b>JACK LITZENBERGER</b>		Telephone: <b>607 423-7322</b>	
Address: <b>450 CORTLAND RD</b>		E-Mail: <b>JACK@2PROSCONSTRUCTION.COM</b>	
City/PO: <b>FRENCHVILLE NY</b>		State: <b>NY</b>	Zip Code: <b>13068</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>	
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>	
3. a. Total acreage of the site of the proposed action?		<b>4.70</b> acres	
b. Total acreage to be physically disturbed?		<b>1</b> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<b>—</b> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

<p>5. Is the proposed action,</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>N/A</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>9. Does the proposed action <u>meet or</u> exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES
		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?		NO	YES
If Yes,		<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:			
_____			
_____			
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?		NO	YES
If Yes, explain the purpose and size of the impoundment: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____			
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?		NO	YES
If Yes, describe: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____			
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?		NO	YES
If Yes, describe: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____			

**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor/name: JACK LITZENBERGER Date: 5/13/25  
 Signature:  Title: OWNER CONTRACTOR



# AGRICULTURAL DATA STATEMENT

## PLANNING AND ZONING DEPARTMENT

Certain lands in the Town of Ulysses lie in an area that has been designated as an Agricultural District. Section 283-a of the New York State Town Law requires any application for a Special Permit, Site Plan, Use Variance or Subdivision on property within such a District containing a farm operation or on property with boundaries within five hundred (500) feet of a farm operation located in such a District to include an Agricultural Data Statement.

“Farming operations” are defined by Section 301, Article 25AA of the New York State Agriculture and Markets Law as “... the land used in agricultural production, farm buildings, equipment and farm residential buildings.”

A. Name of Applicant: Jack Litzenberger

B. Address: 1451 TAUCHANNOCK BLVD. ITHACA NY 14850

C. Description of Project  
PROPOSED NEW HOME CONSTRUCTION WITH DETACHED GARAGE  
2000 sq ft 1000 sq ft

D. Location of Proposed Project (tax map number): 7-1-22

E. Names and address of owners of land within the Agricultural District containing Farm Operations and located within five hundred (500) feet of the project property.

Name	Address	Tax Map #
1. <u>NONE KNOWN.</u>		
2.		
3.		
4.		
5.		

F. Attach a tax map showing the site of the proposed project relative to the location of the Farm Operations identified above.

IT IS MY BELIEF THAT ALL ADJACENT PROPERTIES WITHIN 500' ARE ALL RESIDENTIAL.



10 Elm Street  
Trumansburg, NY 14886



607.387.5767



[www.townofulyssesny.gov](http://www.townofulyssesny.gov)

UPDATED 2024



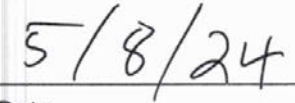
## BOARD/COMMISSION MEMBER SITE VISIT PLANNING AND ZONING DEPARTMENT

As part of their responsibilities for reviewing your application, members of Boards and Commissions may need to conduct site visits of the subject property to enable them to observe the property and the context of the neighborhood and adjacent properties. Some applications involve a project that is not wholly visible from the public right-of-way and it may be necessary for members to access your property to observe portions of the exterior of the property not visible from the right-of-way.

By signing below, you are attesting that you understand this information and authorize members to enter onto the property, including side and rear yards, as necessary to conduct their site visit for your application.



Signature of Property Owner



Date

Up to two board members may conduct site visits at a time. Members will try to coordinate available days and times with the property owner in advance. Please note, that if the property owner does not authorize the members to access your property, you may be required to provide additional information including photographic evidence of all areas of your property not visible from the right-of-way. Failure to permit property access to members or to provide additional information including adequate photographic evidence, may impact the final decision of board members.



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