



FINAL SITE PLAN APPLICATION

PLANNING AND ZONING DEPARTMENT

INSTRUCTIONS: Complete form, sign, and date.
See applicable application packet for all required checklist items.

CONTACT INFORMATION					
APPLICANT	William Reilly				
ADDRESS	1671 Taughannock Blvd.				
CITY	Trumansburg	STATE	NY	ZIP	14886
PHONE		EMAIL			
OWNER	Same as above				
ADDRESS					
CITY		STATE		ZIP	
PHONE		EMAIL			
PRIMARY CONTACT <input checked="" type="checkbox"/> APPLICANT <input checked="" type="checkbox"/> OWNER <input type="checkbox"/> OTHER, PLEASE SPECIFY BELOW					
NAME					
PHONE		EMAIL			
PROJECT SITE INFORMATION					
ADDRESS	1671 Taughannock Blvd.				
PARCEL NO(S)	16.-1-1				
PROJECT INFORMATION					
PROJECT NAME	Reilly Garage				
PROJECT DESCRIPTION	Construction of an accessory building / detached garage on private residence.				
SKETCH PLAN REVIEW DATE(S)					
VALUATION	\$75,000				
Authorization: I am the owner or am authorized by the owner to sign and submit this application. I certify under penalty of perjury of the laws of the State of New York that the information on this application and all information submitted herewith is true, complete, and correct.					
SIGNATURE	<i>William Reilly</i>			DATE 12/29/25	
PRINT NAME	William Reilly				
CITY, STATE	Trumansburg, NY				



10 Elm Street
Trumansburg, NY 14886



607.387.5767



www.townofulyssesny.gov

UPDATED 2025

William Reilly

1671 Taughannock Blvd.

Trumansburg, NY 14886

10/25/25

Town of Ulysseys

Planning and Zoning Department

Narrative Statement

RE: 1671 Taughannock Blvd. Proposed Accessory building, permit application.

The purpose of this narrative is to request a permit for construction of an accessory building, on private residential property located at 1671 Taughannock Blvd.

Consideration of the sensitive nature of the Lakeshore and steep slope zones, and natural topography characteristics were taken into account during the design phase and proposed placement on the lot. The proposed accessory building is also replacing a previously existing garage structure from the same location, that was damaged / in a previous windstorm and falling tree accident- pictures of the previous structure, as well as existing conditions of where the stabilized natural steep slopes are to be maintained are included / attached to this proposal.

This proposed location allows for proper use / access from driveway, where old structure was, and does not require any more tree removals (Previous diseased Hemlock trees had fallen down, and been removed due to safety concerns here). This location also allows for minimal grading changes, to best fit within the natural topography and drainage pattern of the existing site.

The uphill side of the foundation will be partially buried 8' +/- in bank of existing hill, to minimize overall profile, and to limit disturbance of natural stormwater flow.

While the parcel is categorized as Lake Shore Zone, the area the garage is to be located is well above lake elevation (Over 50' above), and over 150' away horizontally.

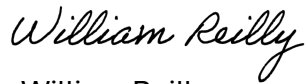
The property does contain areas of steep slopes along the lakeshore, and beside an intermittent streambank, however there will not be any construction on or around steep slopes, (30+ feet away from top of any slopes), and an existing stabilized vegetation buffer will be maintained at all times.

During construction, silt logs will be placed below disturbed excavation site, to prevent any sediment runoff from leaving the site.

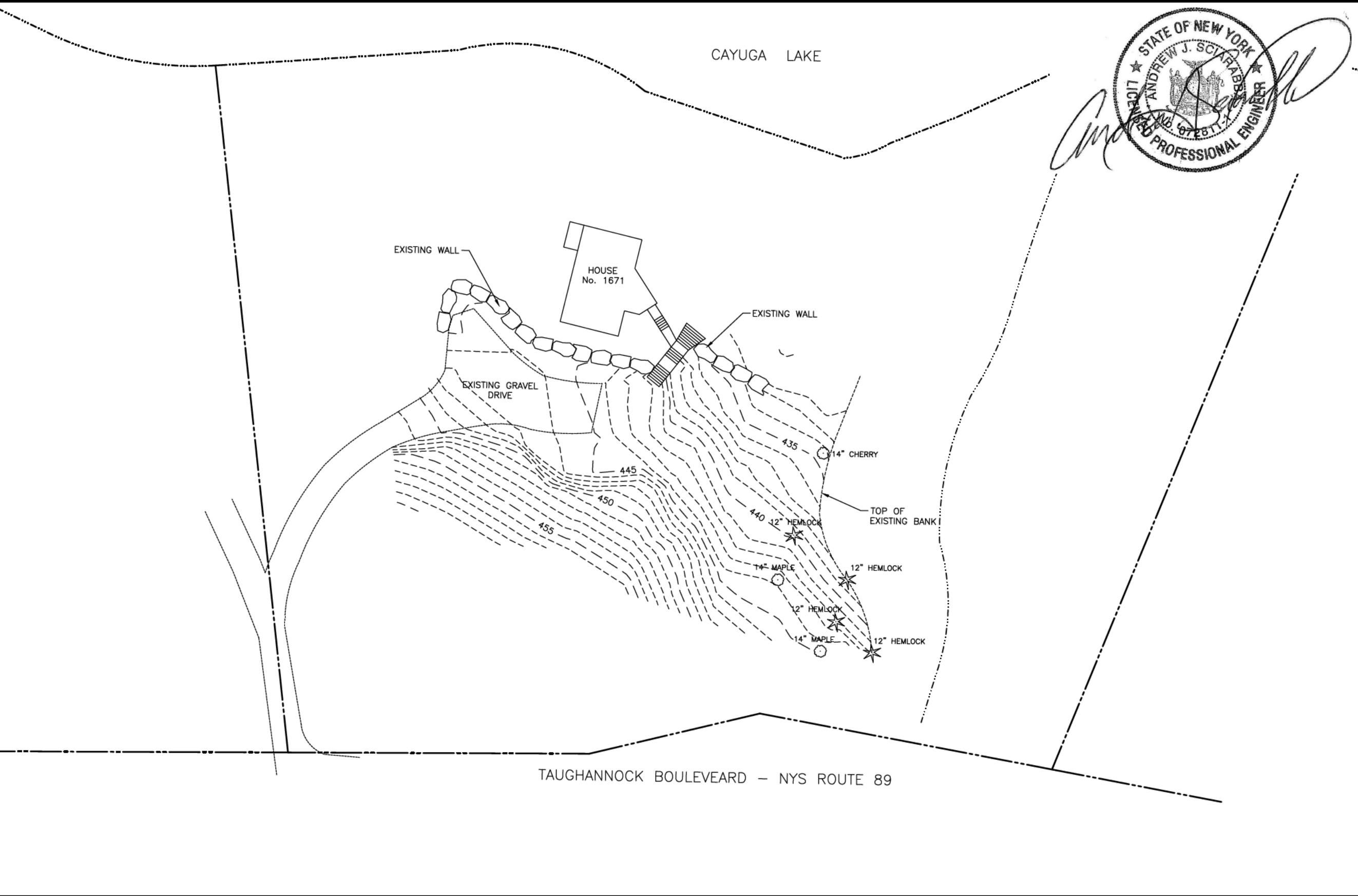
Post-Construction, the roof water will be directed to pervious garden / lawn areas, and excess will be collected by drainage stone trenches and directed to streambed via. HDPE pipe drain to eliminate any point source erosion potential.

I appreciate your time and consideration of this permit. If any further information is needed, please do not hesitate to ask.

Thank you,

A handwritten signature in black ink that reads "William Reilly". The script is cursive and fluid, with the first letters of "William" and "Reilly" being capitalized and prominent.

-William Reilly



SCIARABBA ENGINEERING, PLLC
9664 Kingstown Road
Trumansburg, NY 14886
607-337-0978
www.sciarabbaengplus.com

WARNING:
It is a violation of Section 7209, Subdivision 2 of the New York State Education Law for any person, unless he or she is working under the direction of a licensed engineer, to alter an item in any way. If an item bearing the seal of an engineer is altered, the altering engineer shall affix to the item his or her seal and the notation "altered by" followed by his or her signature, the date of such alteration, and a specific description of the alteration.

REILLY GARAGE
1671 TAUGHANNOCK
BOULEVARD
TOWN OF ULYSSES

REVISION 6	_____
REVISION 5	_____
REVISION 4	_____
REVISION 3	_____
REVISION 2	_____
REVISION 1	_____

PROJECT NO.	25-28
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DATE	12-17-2025
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SCALE	1"=40'
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DRAWING TITLE

EXISTING
CONDITIONS
PLAN

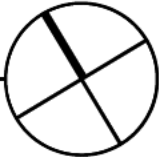
DRAWING NUMBER

C101

EXISTING CONDITIONS PLAN

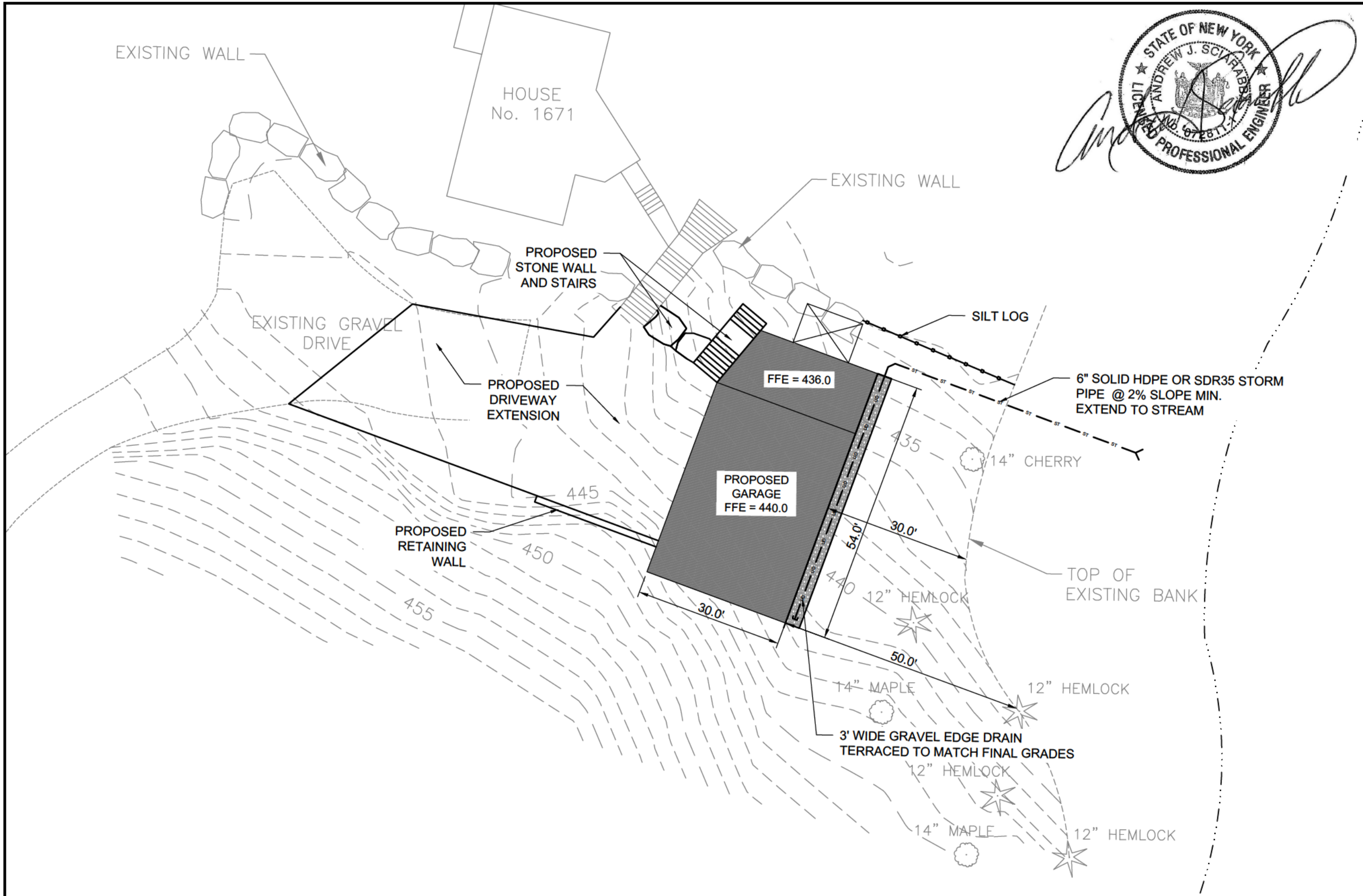
SCALE: 1"=40'

NORTH



GRAPHIC SCALE





SCIARABBA ENGINEERING, PLLC
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Trumansburg, NY 14886
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REILLY GARAGE
1671 TAUGHANNOCK
BOULEVARD
TOWN OF ULYSSES

REVISION 6	_____
REVISION 5	_____
REVISION 4	_____
REVISION 3	_____
REVISION 2	_____
REVISION 1	_____

PROJECT NO.	25-28
DATE	12-17-2025
SCALE	1"=20'

DRAWING TITLE

LAYOUT AND
DRAINAGE PLAN

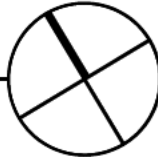
DRAWING NUMBER

C102

LAYOUT AND DRAINAGE PLAN

SCALE: 1"=20'

NORTH



GRAPHIC SCALE





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9664 Kingstown Road
Trumansburg, NY 14886
607-337-0978
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REILLY GARAGE
1671 TAUGHANNOCK
BOULEVARD
TOWN OF ULYSSES

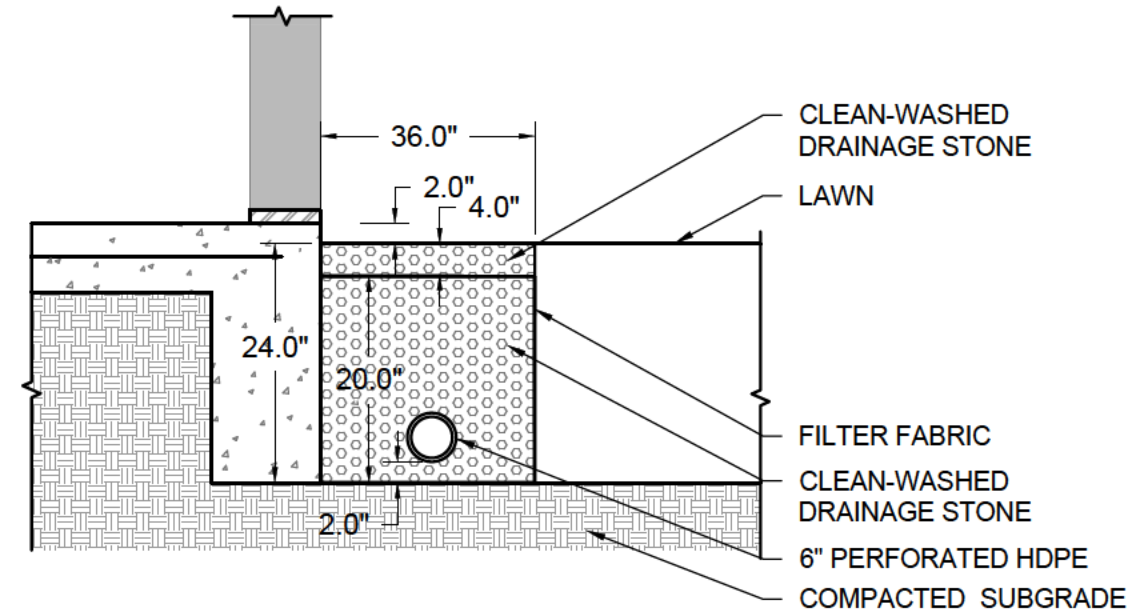
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REVISION 5 _____
REVISION 4 _____
REVISION 3 _____
REVISION 2 _____
REVISION 1 _____

PROJECT NO.	25-28
DATE	12-17-2025
SCALE	NOT TO SCALE

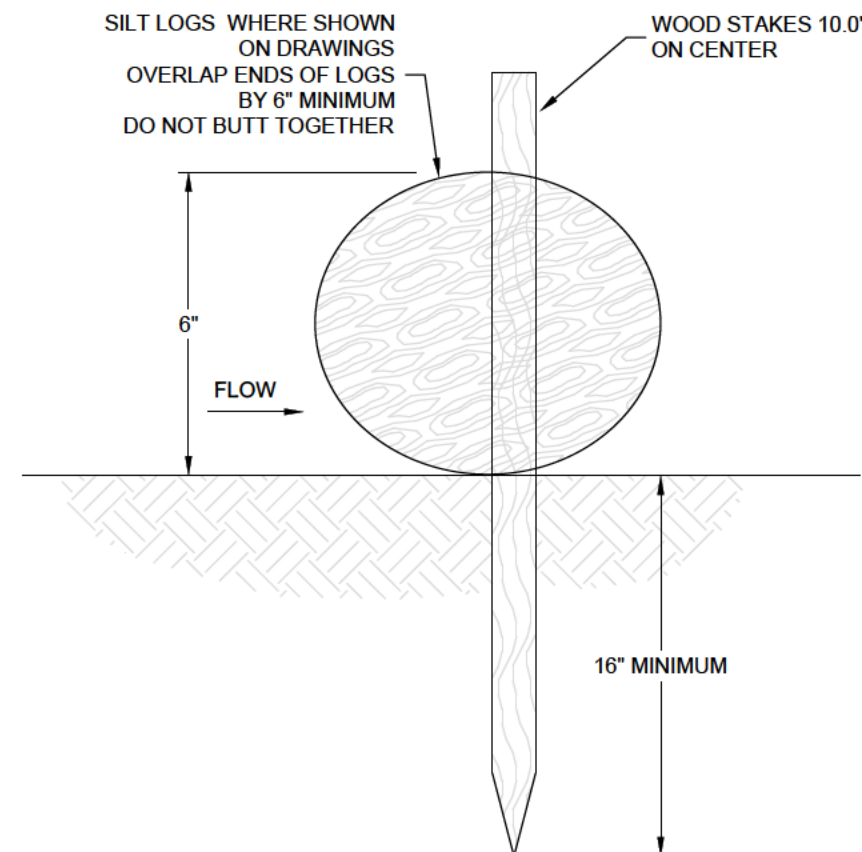
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DETAILS

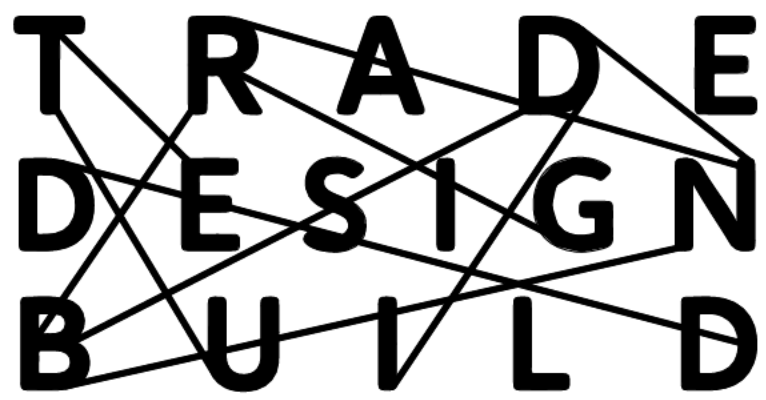
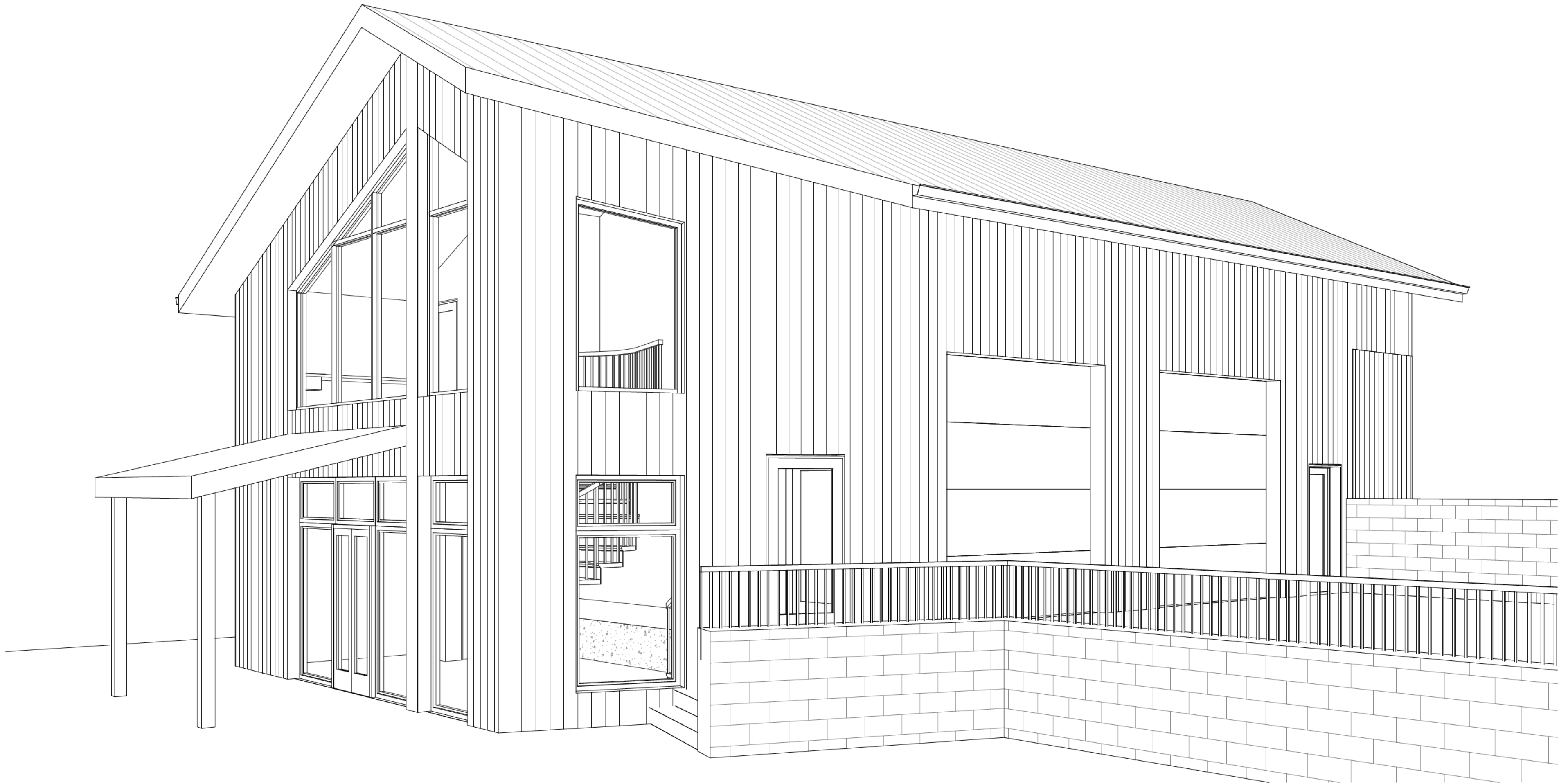
DRAWING NUMBER
C103



GRAVEL EDGE DRAIN - NOT TO SCALE



SILT LOG - NOT TO SCALE



REILLY GARAGE

1671 TAUGHANNOCK BLVD, TRUMANSBURG, NY 14886

BILL REILLY

25037

DRAWING LIST

- G0 00 COVER SHEET
- S1 00 FOUNDATION PLAN
- S1 01 FIRST FLOOR FRAMING PLAN
- S1 02 SECOND FLOOR FRAMING PLAN
- S1 03 ROOF FRAMING PLAN
- S3 01 ROOF FRAMING SECTIONS
- A1 01 FIRST FLOOR PLAN
- A1 02 SECOND FLOOR PLAN
- A1 03 ROOF PLAN
- A2 01 EXTERIOR ELEVATIONS
- A2 02 EXTERIOR ELEVATIONS
- A3 01 BUILDING SECTIONS
- A3 51 WALL SECTIONS

GENERAL NOTES

- THESE DRAWINGS AND SPECIFICATIONS INCLUDING THE DESIGN AND ARRANGEMENTS REPRESENTED HEREIN ARE THE PROPERTY OF TRADE DESIGN BUILD ARCHITECTURE. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONJUNCTION WITH ANY WORK OR PROJECT OTHER THAN THAT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE EXPRESS CONSENT OF TRADE DESIGN BUILD ARCHITECTURE.
- THE OWNER AND/OR CONTRACTOR SHALL HOLD THE ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THESE DRAWINGS. CHANGES TO THE DRAWINGS WITHOUT WRITTEN CONSENT FROM THE ARCHITECT SHALL BE THE RESPONSIBILITY OF THE PARTY IMPLEMENTING THE CHANGE.
- ALL WORK, MATERIALS AND EQUIPMENT SHALL MEET THE LATEST REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION
- CONSTRUCTION MEANS AND METHODS, TECHNIQUES, PROCEDURES AND SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK TO BE INSTALLED IN ACCORDANCE WITH LATEST MANUFACTURER, ASTM OR OTHER RECOGNIZED INDUSTRY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF HVAC, ELECTRICAL, PLUMBING AND UTILITY SYSTEMS.
- DO NOT SCALE DRAWINGS, USE GIVEN DIMENSIONS. DRAWING SCALE IS FOR REFERENCE ONLY. DIMENSIONS SHOWN ARE FROM FACE OF FRAMING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY AND MAINTAIN ALL DIMENSIONS BEFORE AUTHORIZING FABRICATION OR PROCEEDING WITH CONSTRUCTION OF ANY ELEMENT

CODE REVIEW

BUILDING CODE REVIEW DONE IN ACCORDANCE WITH THE 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE (2020 RBCNYS), AND THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE (2020 EECNYS)

ENERGY CODE COMPLIANCE THROUGH PRESCRIPTIVE METHODS IN ACCORDANCE WITH TABLE R402.1.2, CLIMATE ZONE 6 OPTION 1

MEP SYSTEMS TO BE DETERMINED, FINAL DESIGN & ENERGY CODE COMPLIANCE BY MEP CONTRACTOR.

STRUCTURAL DESIGN DONE IN COLLABORATION WITH TAITEM ENGINEERING

TRADE DESIGN BUILD

1520 TRUMANSBURG ROAD
ITHACA, NEW YORK 14850
WWW.TRADEDESIGNBUILD.COM

PROJECT DETAILS

PROJECT NAME:	PROJECT NO:
REILLY GARAGE	25037
PROJECT ADDRESS:	CLIENT NAME:
1671 TAUGHANNOCK BLVD, TRUMANSBURG, NY 14886	BILL REILLY

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO.	ISSUE DATE
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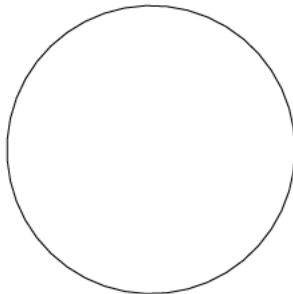
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COVER SHEET

DRAWING NO:

G0.00

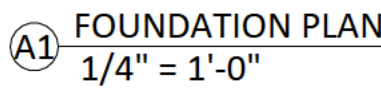
ISSUE DATE:	DRAWN BY:
SEPTEMBER 26, 2025	JN



PROJECT NAME:	PROJECT NO:
REILLY GARAGE	25037

PROJECT ADDRESS:	CLIENT NAME:
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CONSULTANT DETAILS



REVISION NO.	ISSUE DATE
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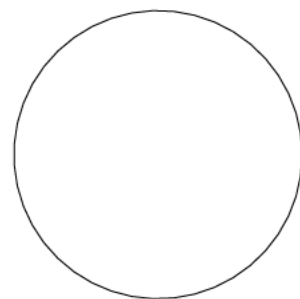
FOUNDATION PLAN

DRAWING NO:

\$1.00

ISSUE DATE: SEPTEMBER 26, 2025

DRAWN BY: JN



PROJECT DETAILS

PROJECT NAME: PROJECT NO:
REILLY GARAGE 25037

PROJECT ADDRESS: CLIENT NAME:
1671 TAUGHANNOCK BLVD, BILL REILLY
TRUMANSBURG, NY 14886

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO. ISSUE DATE

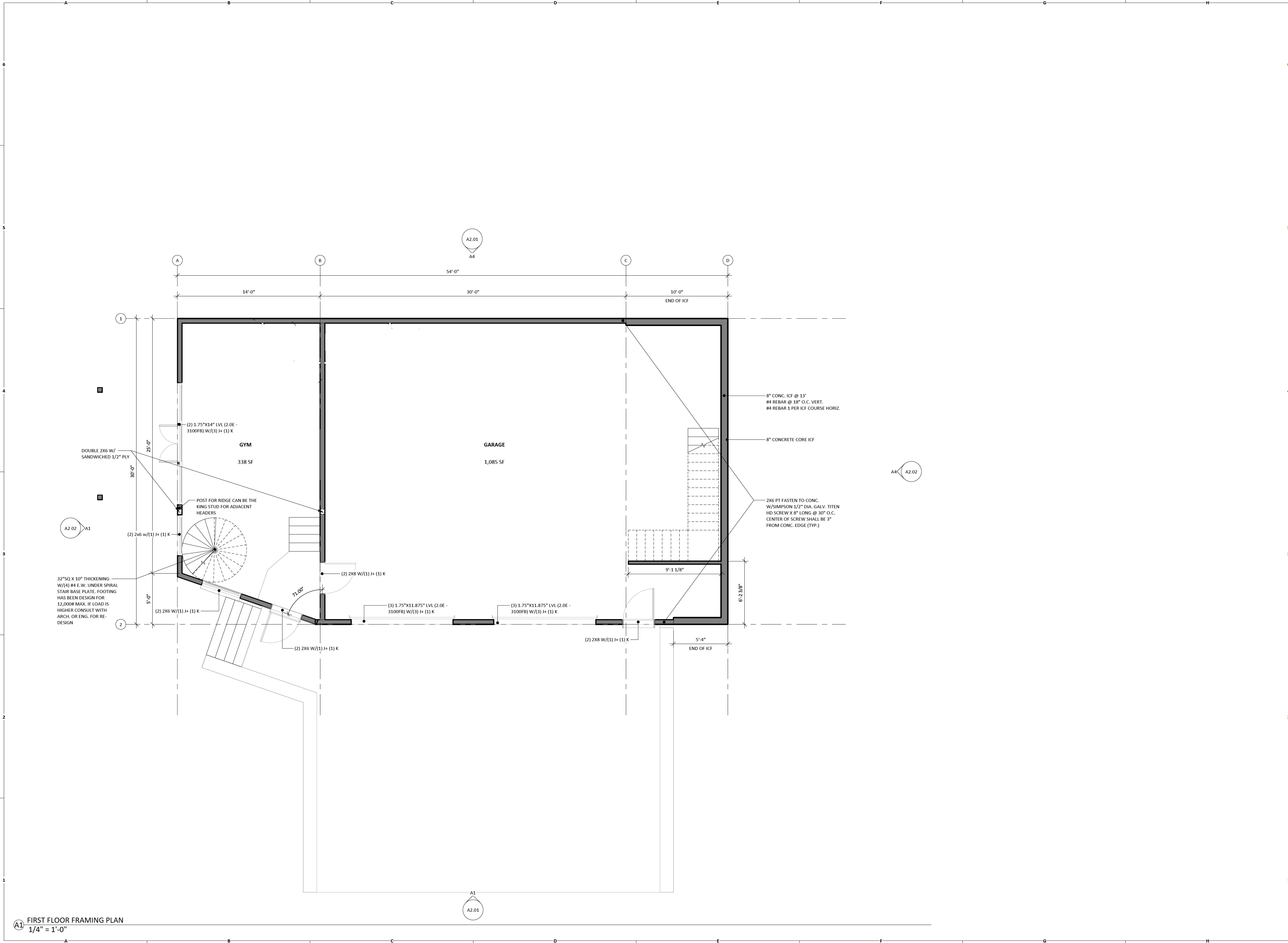
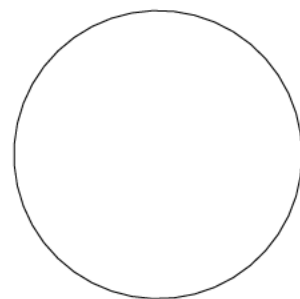
DRAWING DETAILS

DRAWING NAME:
FIRST FLOOR FRAMING PLAN

DRAWING NO:

S1.01

ISSUE DATE: DRAWN BY:
SEPTEMBER 26, 2025 JN



PROJECT DETAILS

PROJECT NAME:
REILLY GARAGE

PROJECT NO:
25037

PROJECT ADDRESS:
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TRUMANSBURG, NY 14886

CLIENT NAME:
BILL REILLY

CONSULTANT DETAILS

REVISION SCHEDULE

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DRAWING DETAILS

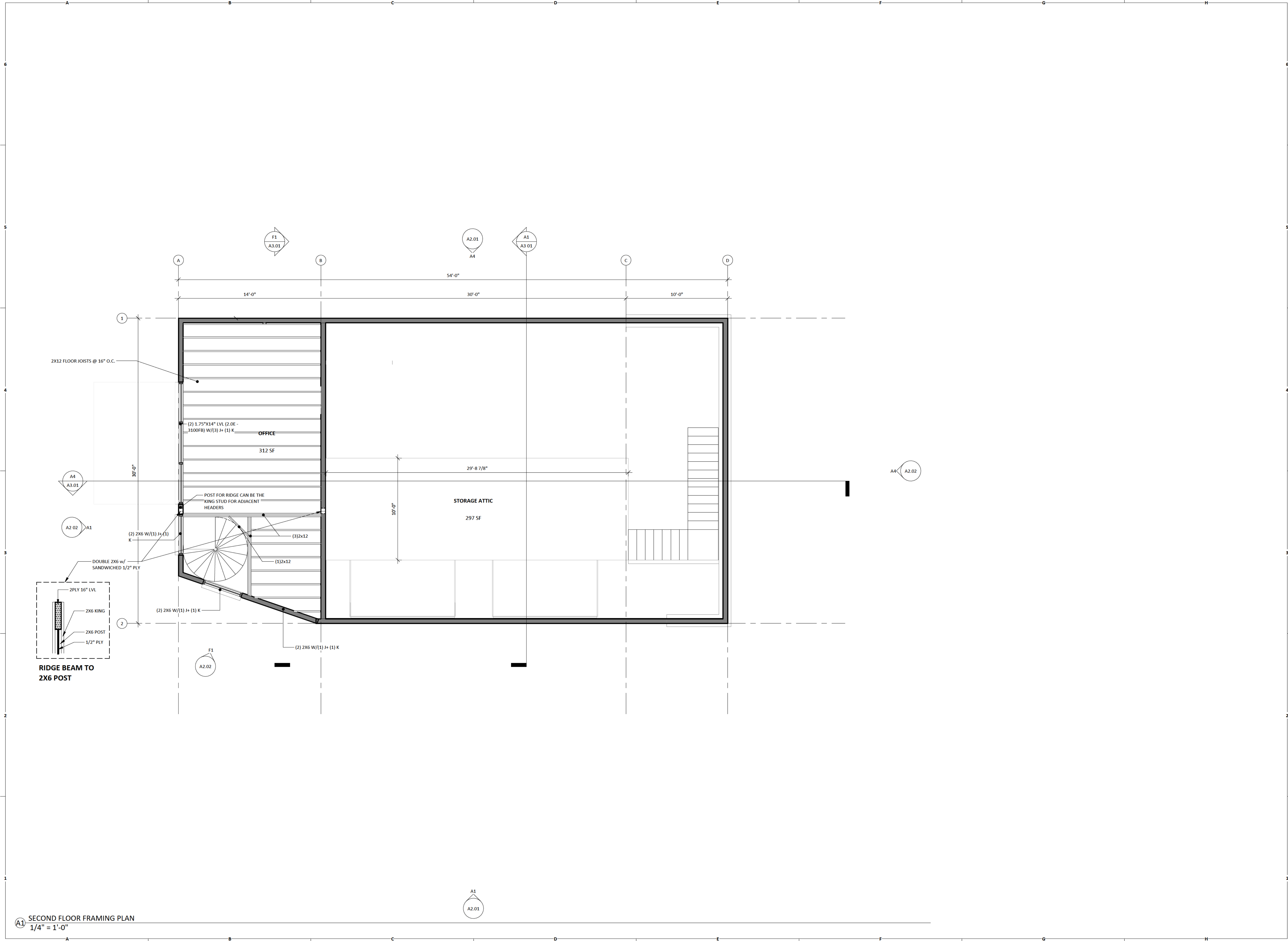
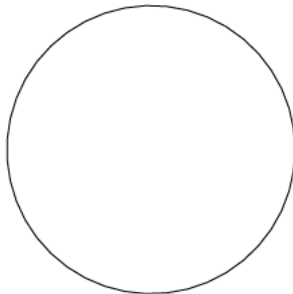
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SECOND FLOOR FRAMING PLAN

DRAWING NO:

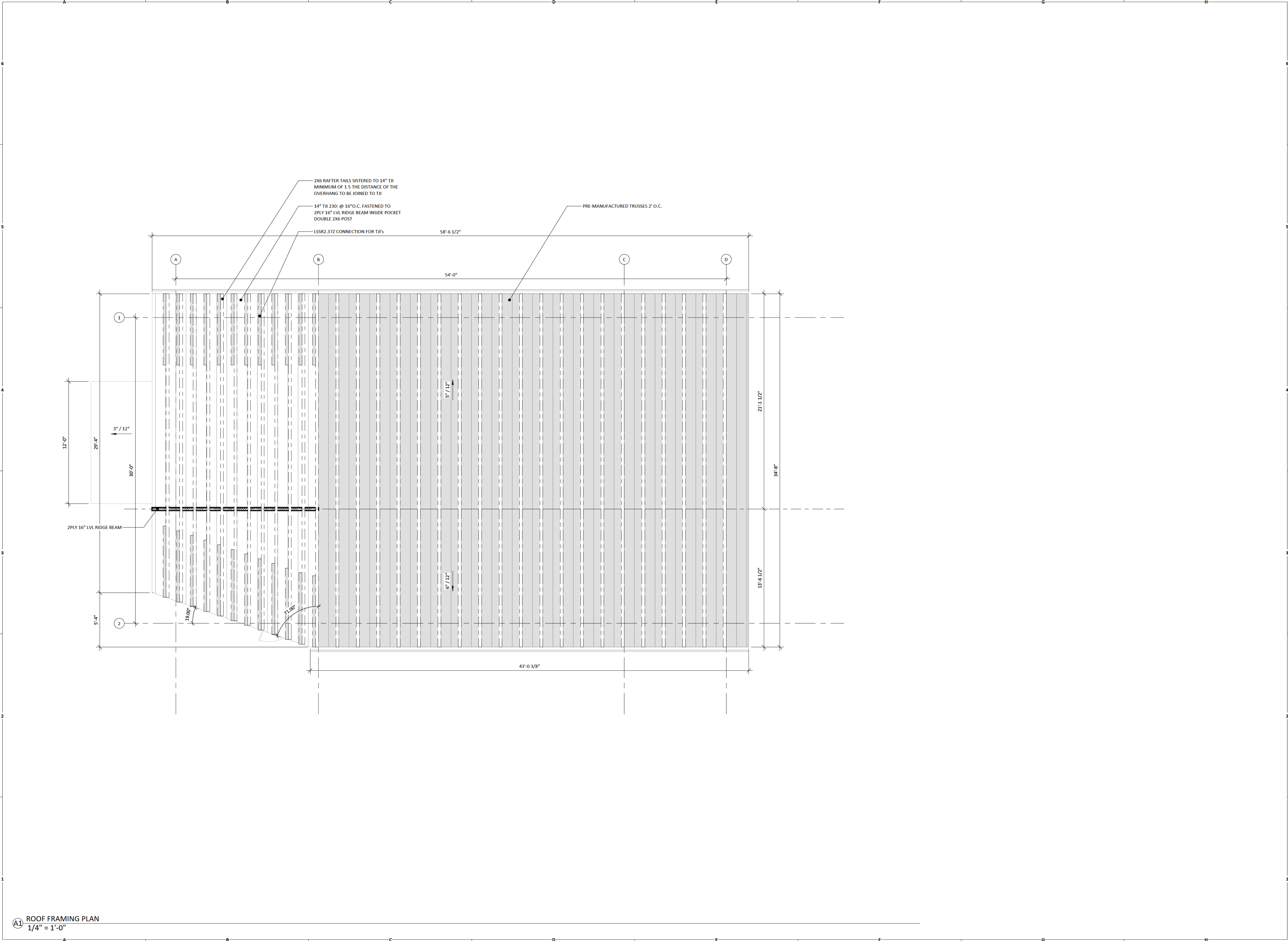
S1.02

ISSUE DATE:
SEPTEMBER 26, 2025

DRAWN BY:
JN



A1 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"

PROJECT DETAILS

PROJECT NAME: PROJECT NO:
REILLY GARAGE 25037

PROJECT ADDRESS: CLIENT NAME:
1671 TAUGHANNOCK BLVD, BILL REILLY
TRUMANSBURG, NY 14886

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO. ISSUE DATE

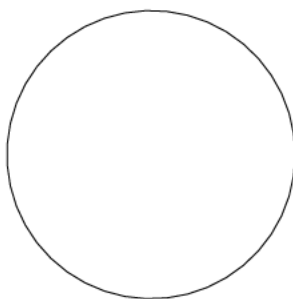
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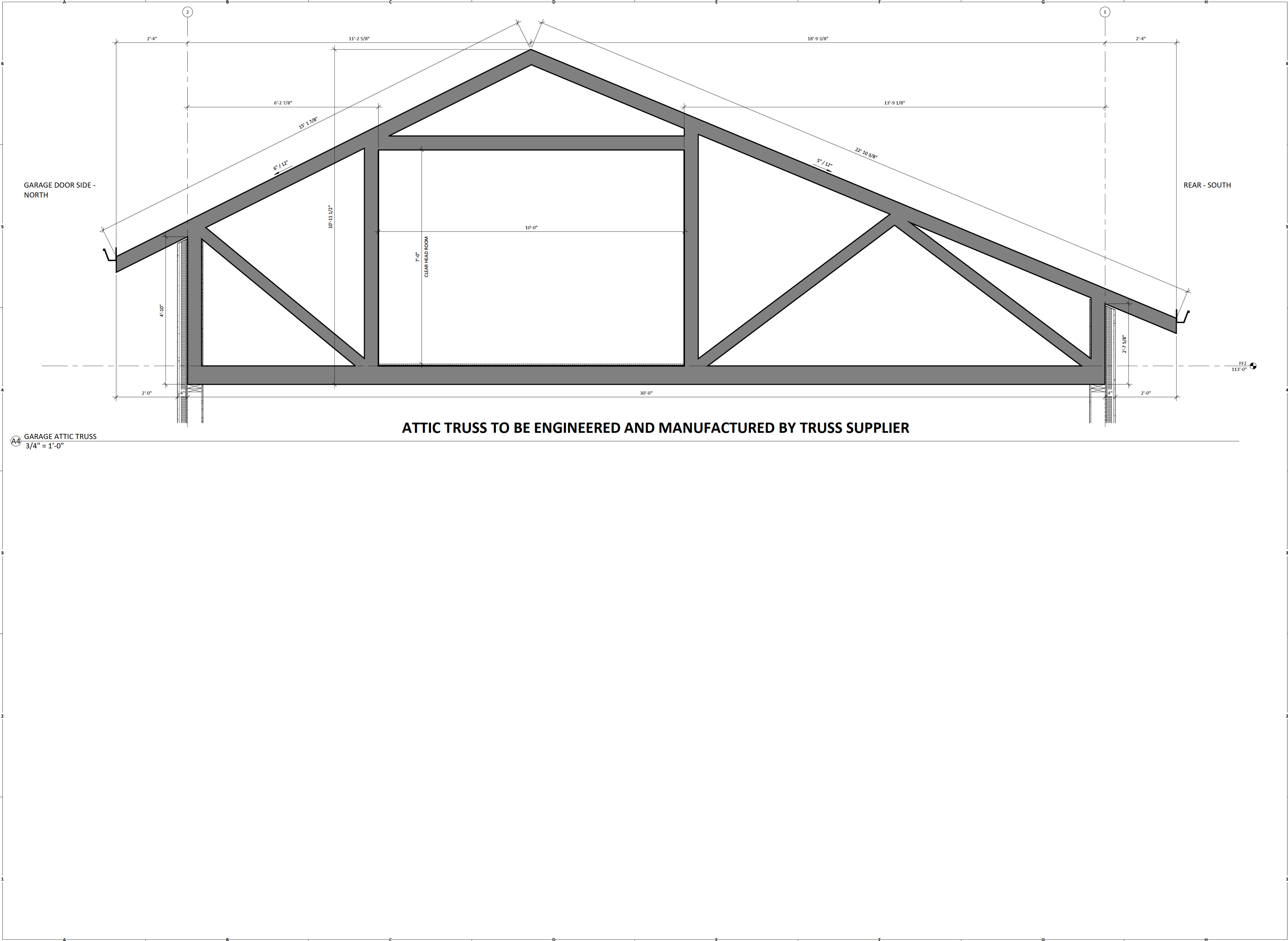
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ROOF FRAMING PLAN

DRAWING NO:

S1.03

ISSUE DATE: DRAWN BY:
SEPTEMBER 26, 2025 JN





PROJECT DETAILS

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TRUMANSBURG, NY 14886

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO. ISSUE DATE

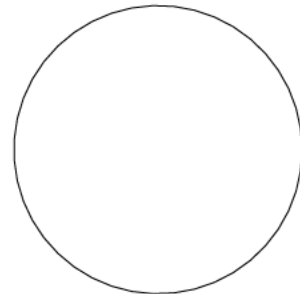
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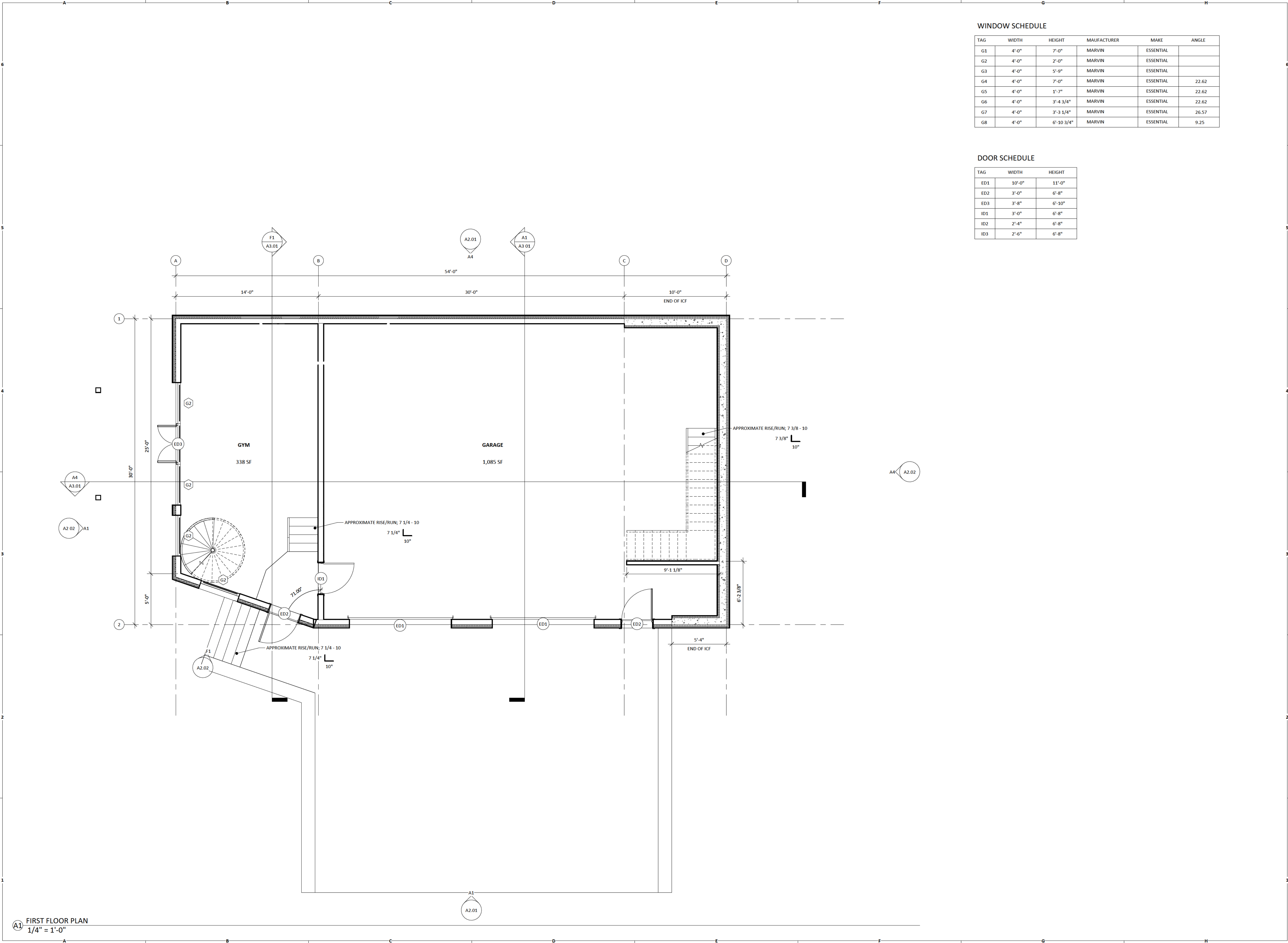
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ROOF FRAMING SECTIONS

DRAWING NO:

S3.01

ISSUE DATE: DRAWN BY:
SEPTEMBER 26, 2025 JN





WINDOW SCHEDULE

TAG	WIDTH	HEIGHT	MAUFACTURER	MAKE	ANGLE
G1	4'-0"	7'-0"	MARVIN	ESSENTIAL	
G2	4'-0"	2'-0"	MARVIN	ESSENTIAL	
G3	4'-0"	5'-9"	MARVIN	ESSENTIAL	
G4	4'-0"	7'-0"	MARVIN	ESSENTIAL	22.62
G5	4'-0"	1'-7"	MARVIN	ESSENTIAL	22.62
G6	4'-0"	3'-4 3/4"	MARVIN	ESSENTIAL	22.62
G7	4'-0"	3'-3 1/4"	MARVIN	ESSENTIAL	26.57
G8	4'-0"	6'-10 3/4"	MARVIN	ESSENTIAL	9.25

DOOR SCHEDULE

TAG	WIDTH	HEIGHT
ED1	10'-0"	11'-0"
ED2	3'-0"	6'-8"
ED3	3'-8"	6'-10"
ID1	3'-0"	6'-8"
ID2	2'-4"	6'-8"
ID3	2'-6"	6'-8"

PROJECT DETAILS

PROJECT NAME: PROJECT NO:
REILLY GARAGE 25037

PROJECT ADDRESS: CLIENT NAME:
1671 TAUGHANNOCK BLVD, BILL REILLY
TRUMANSBURG, NY 14886

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO. ISSUE DATE

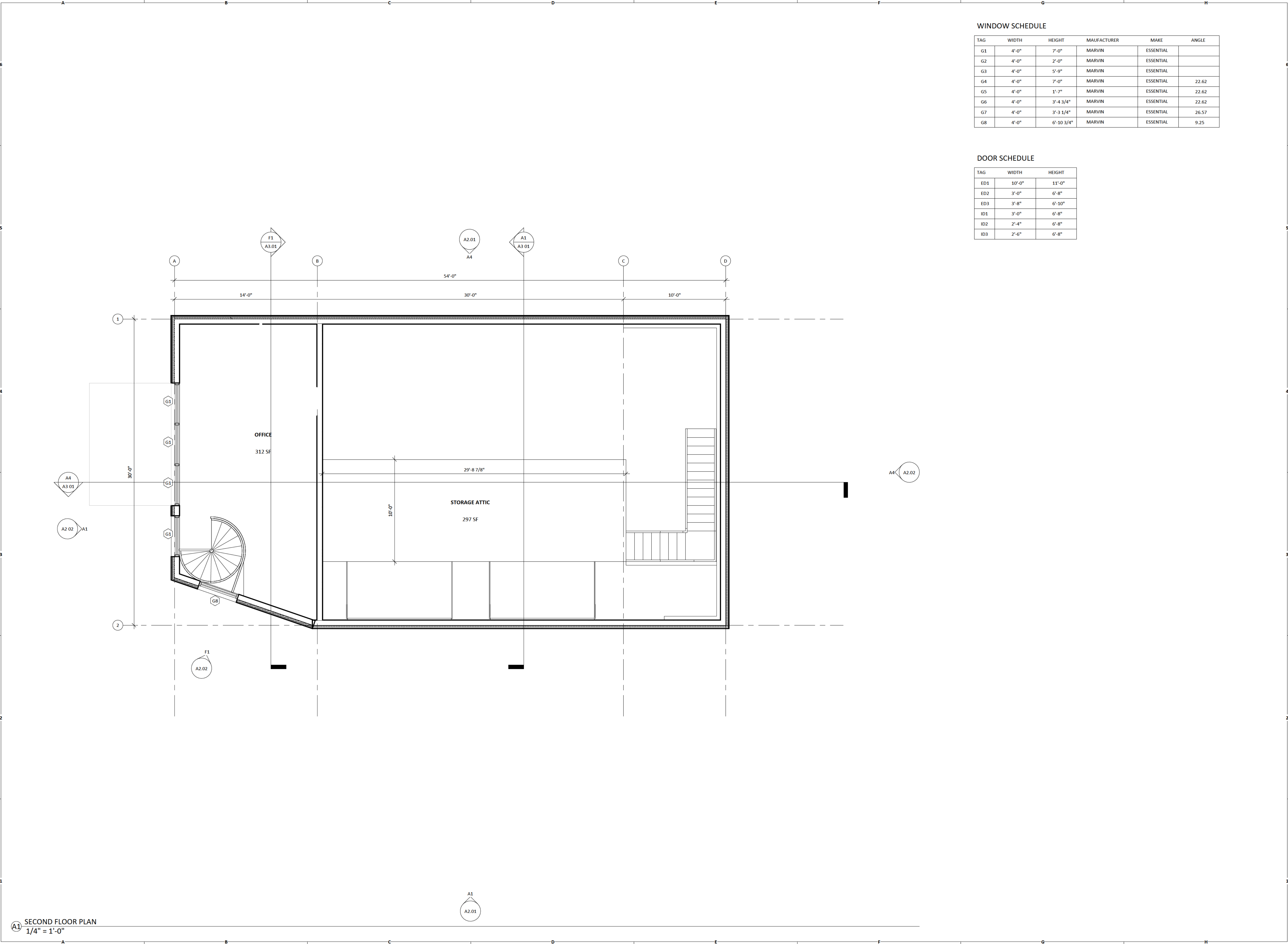
DRAWING DETAILS

DRAWING NAME:
FIRST FLOOR PLAN

DRAWING NO:

A1.01

ISSUE DATE: DRAWN BY:
SEPTEMBER 26, 2025 JN



WINDOW SCHEDULE

TAG	WIDTH	HEIGHT	MAUFACTURER	MAKE	ANGLE
G1	4'-0"	7'-0"	MARVIN	ESSENTIAL	
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G3	4'-0"	5'-9"	MARVIN	ESSENTIAL	
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PROJECT DETAILS

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REILLY GARAGE 25037

PROJECT ADDRESS: CLIENT NAME:
1671 TAUGHANNOCK BLVD, BILL REILLY
TRUMANSBURG, NY 14886

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO. ISSUE DATE

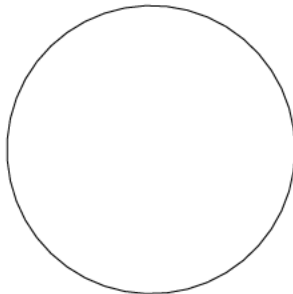
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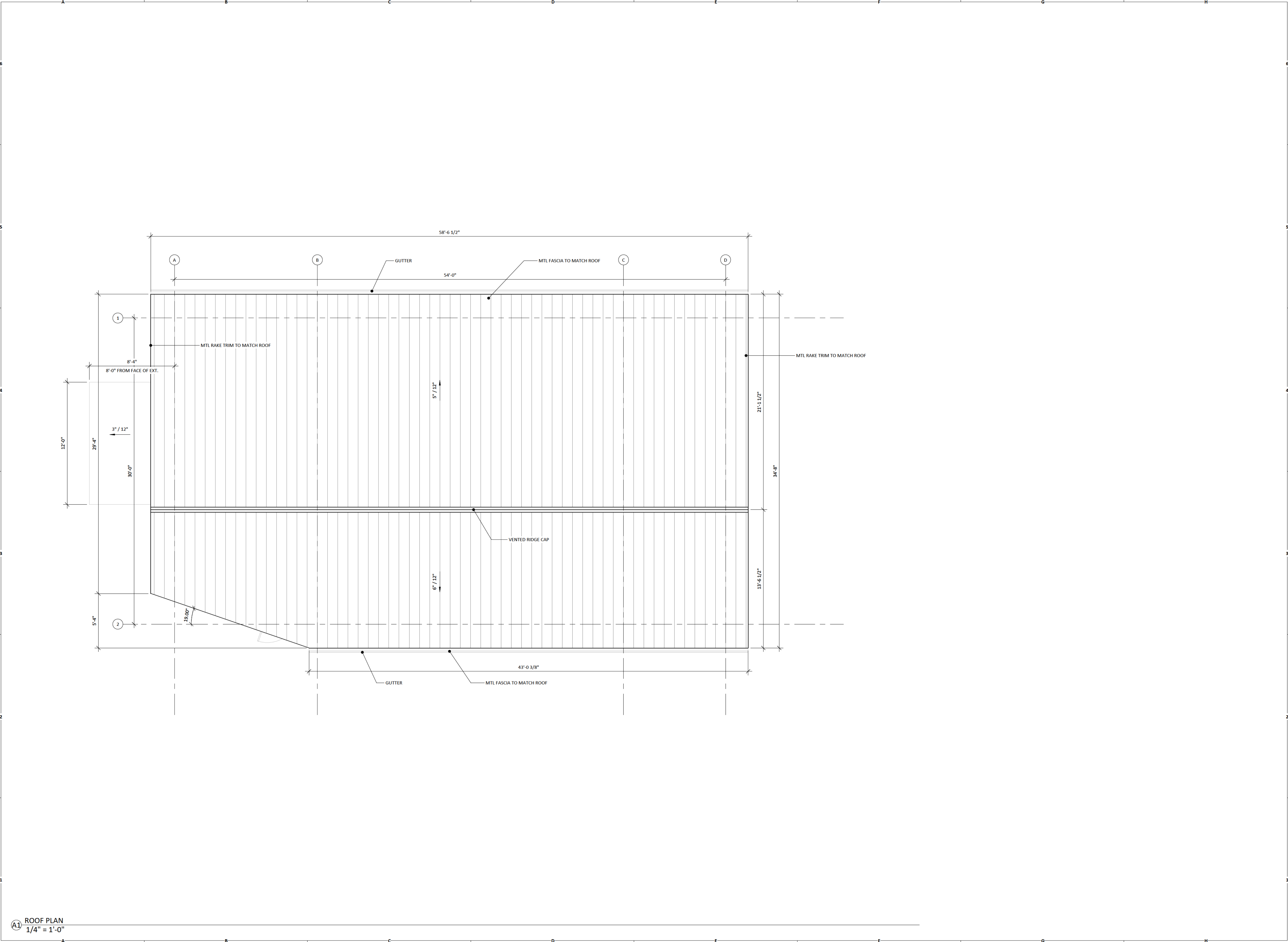
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SECOND FLOOR PLAN

DRAWING NO:

A1.02

ISSUE DATE: DRAWN BY:
SEPTEMBER 26, 2025 JN





PROJECT DETAILS

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REILLY GARAGE 25037

PROJECT ADDRESS: CLIENT NAME:
1671 TAUGHANNOCK BLVD, BILL REILLY
TRUMANSBURG, NY 14886

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO. ISSUE DATE

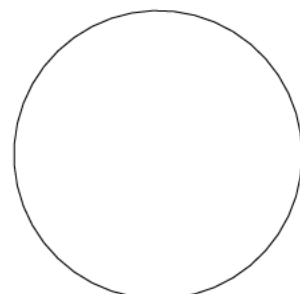
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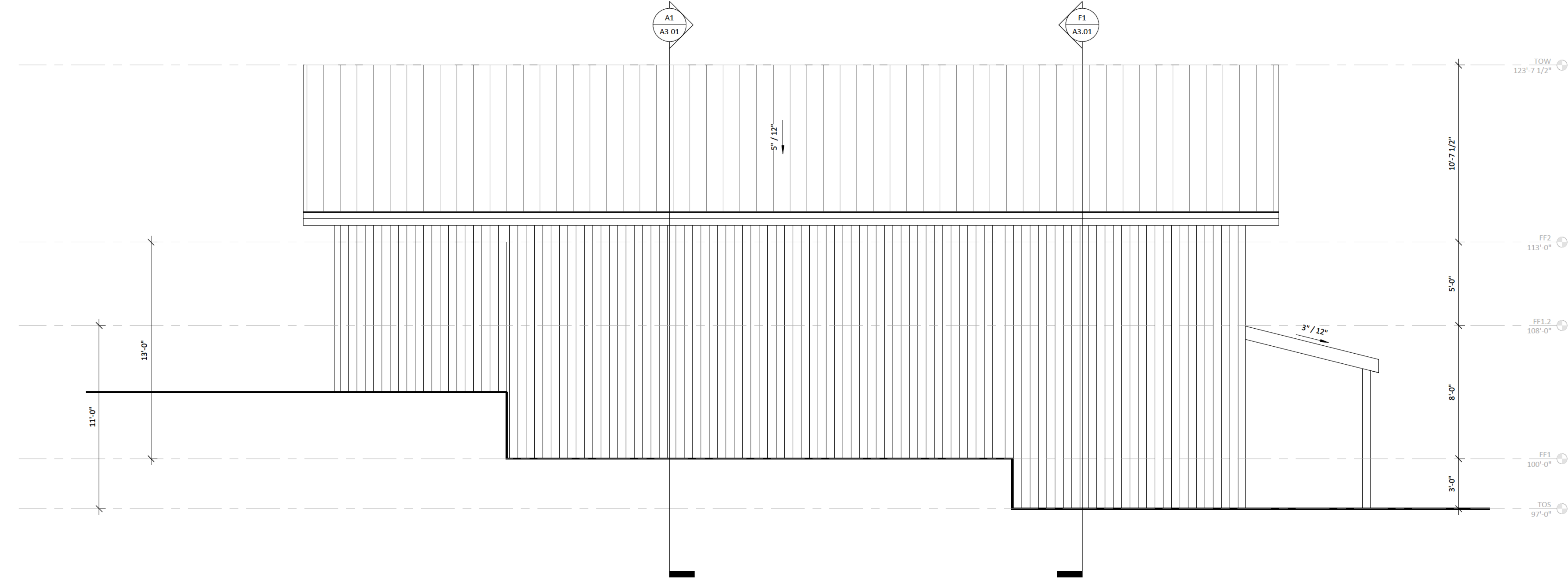
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ROOF PLAN

DRAWING NO:

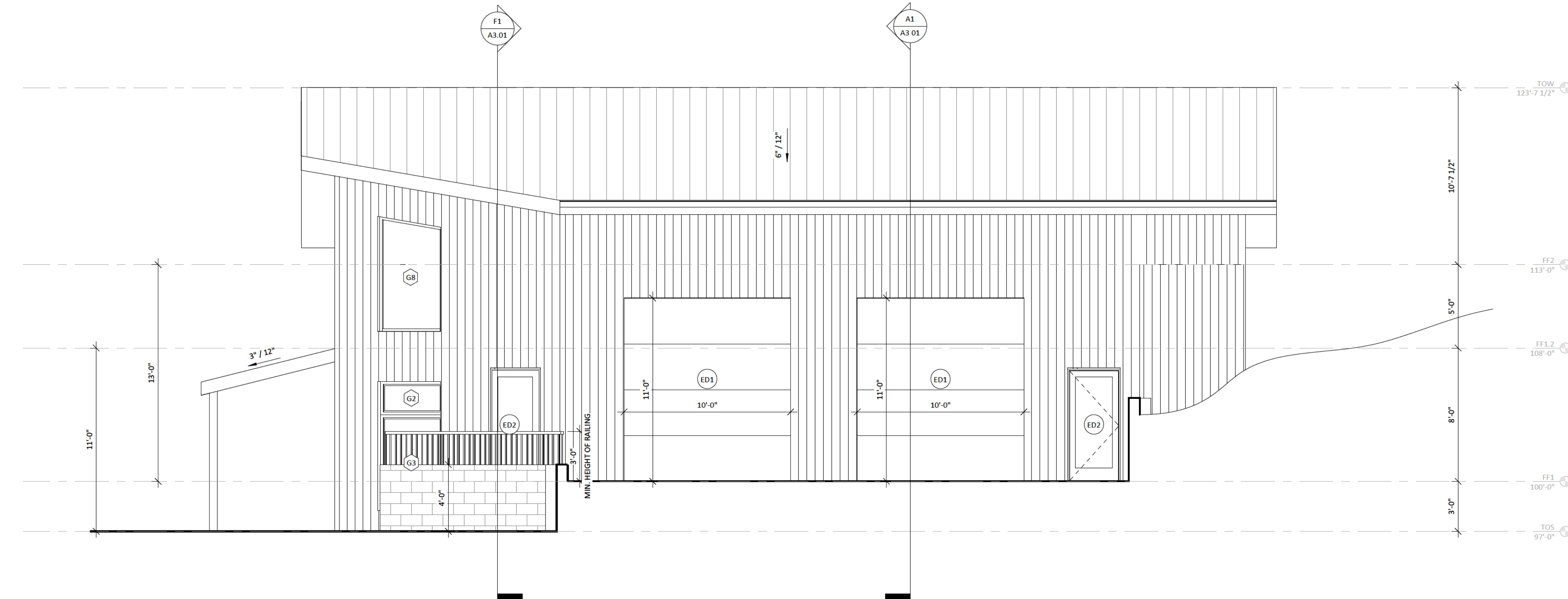
A1.03

ISSUE DATE: DRAWN BY:
SEPTEMBER 26, 2025 JN





A4 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



A1 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

WINDOW SCHEDULE

TAG	WIDTH	HEIGHT	MAUFACTURER	MAKE	ANGLE
G1	4'-0"	7'-0"	MARVIN	ESSENTIAL	
G2	4'-0"	2'-0"	MARVIN	ESSENTIAL	
G3	4'-0"	5'-9"	MARVIN	ESSENTIAL	
G4	4'-0"	7'-0"	MARVIN	ESSENTIAL	22.62
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G8	4'-0"	6'-10 3/4"	MARVIN	ESSENTIAL	9 25

DOOR SCHEDULE

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ID1	3'-0"	6'-8"
ID2	2'-4"	6'-8"
ID3	2'-6"	6'-8"

TRADE
DESIGN BUILD

1520 TRUMANSBURG ROAD
ITHACA, NEW YORK 14850
WWW.TRADEDESIGNBUILD.COM

PROJECT DETAILS

PROJECT NAME: REILLY GARAGE
PROJECT NO: 25037

PROJECT ADDRESS: 1671 TAUGHANNOCK BLVD,
TRUMANSBURG, NY 14886
CLIENT NAME: BILL REILLY

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO. ISSUE DATE

DRAWING DETAILS

DRAWING NAME:
EXTERIOR ELEVATIONS

DRAWING NO:

A2.01

ISSUE DATE: SEPTEMBER 26, 2025
DRAWN BY: JN

PROJECT DETAILS

PROJECT NAME:
REILLY GARAGE

PROJECT NO:
25037

PROJECT ADDRESS:
1671 TAUGHANNOCK BLVD,
TRUMANSBURG, NY 14886

CLIENT NAME:
BILL REILLY

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO.

ISSUE DATE

DRAWING DETAILS

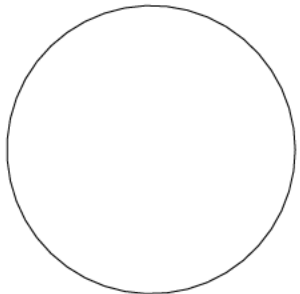
DRAWING NAME:
EXTERIOR ELEVATIONS

DRAWING NO:

A2.02

ISSUE DATE:
SEPTEMBER 26, 2025

DRAWN BY:
JN



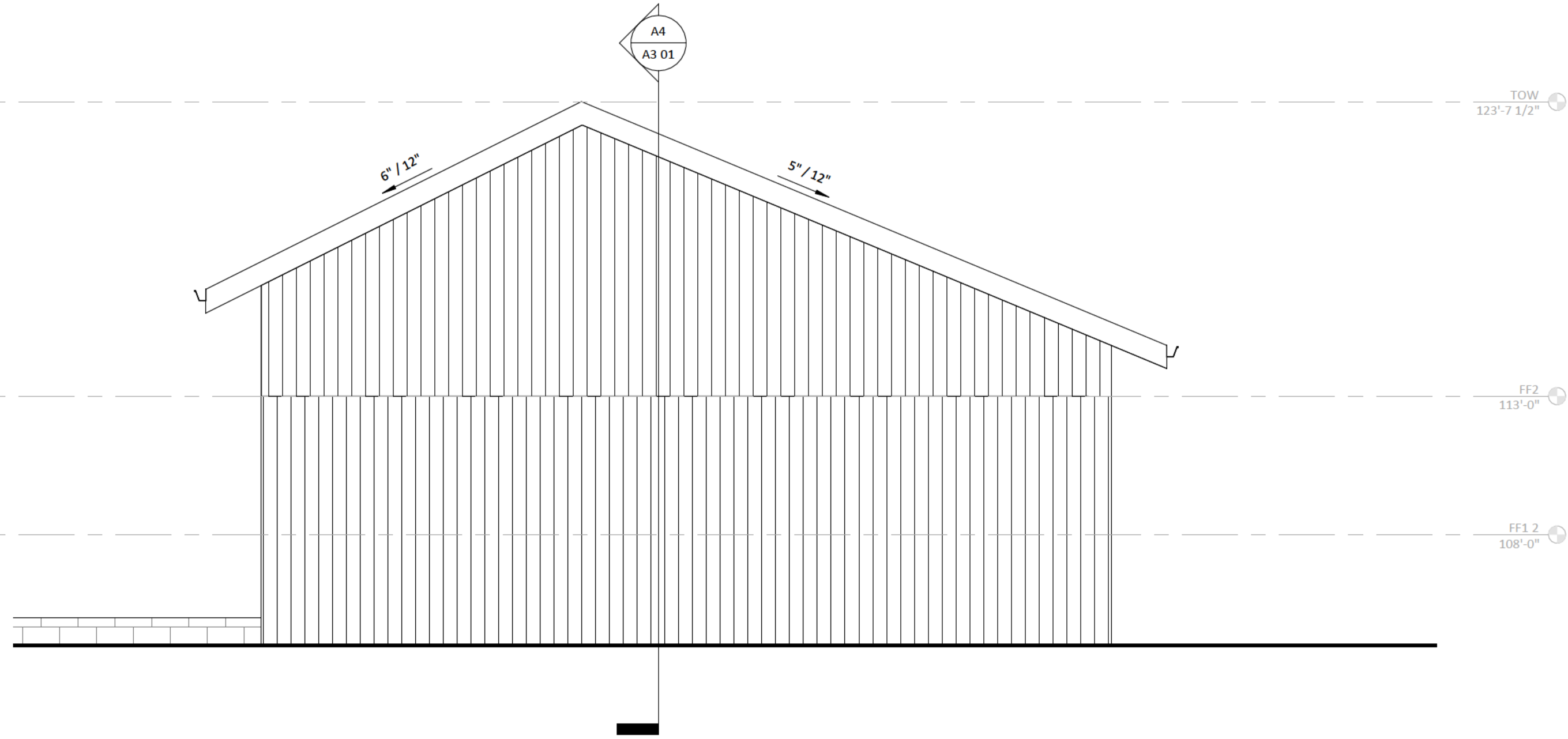
WINDOW SCHEDULE

TAG	WIDTH	HEIGHT	MAUFACTURER	MAKE	ANGLE
G1	4'-0"	7'-0"	MARVIN	ESSENTIAL	
G2	4'-0"	2'-0"	MARVIN	ESSENTIAL	
G3	4'-0"	5'-9"	MARVIN	ESSENTIAL	
G4	4'-0"	7'-0"	MARVIN	ESSENTIAL	22.62
G5	4'-0"	1'-7"	MARVIN	ESSENTIAL	22.62
G6	4'-0"	3'-4 3/4"	MARVIN	ESSENTIAL	22.62
G7	4'-0"	3'-3 1/4"	MARVIN	ESSENTIAL	26.57
G8	4'-0"	6'-10 3/4"	MARVIN	ESSENTIAL	9.25

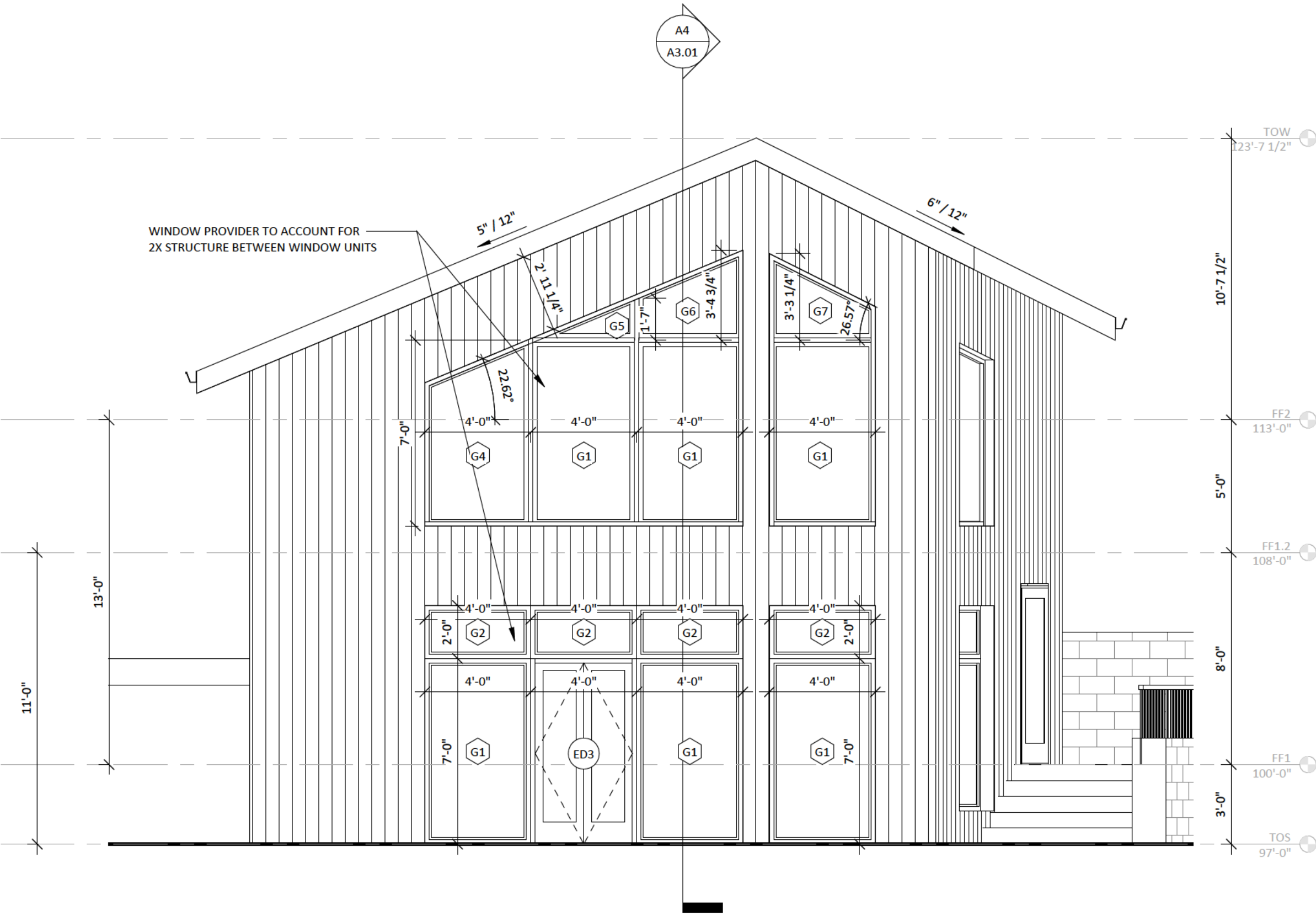
DOOR SCHEDULE

TAG	WIDTH	HEIGHT
ED1	10'-0"	11'-0"
ED2	3'-0"	6'-8"
ED3	3'-8"	6'-10"
ID1	3'-0"	6'-8"
ID2	2'-4"	6'-8"
ID3	2'-6"	6'-8"

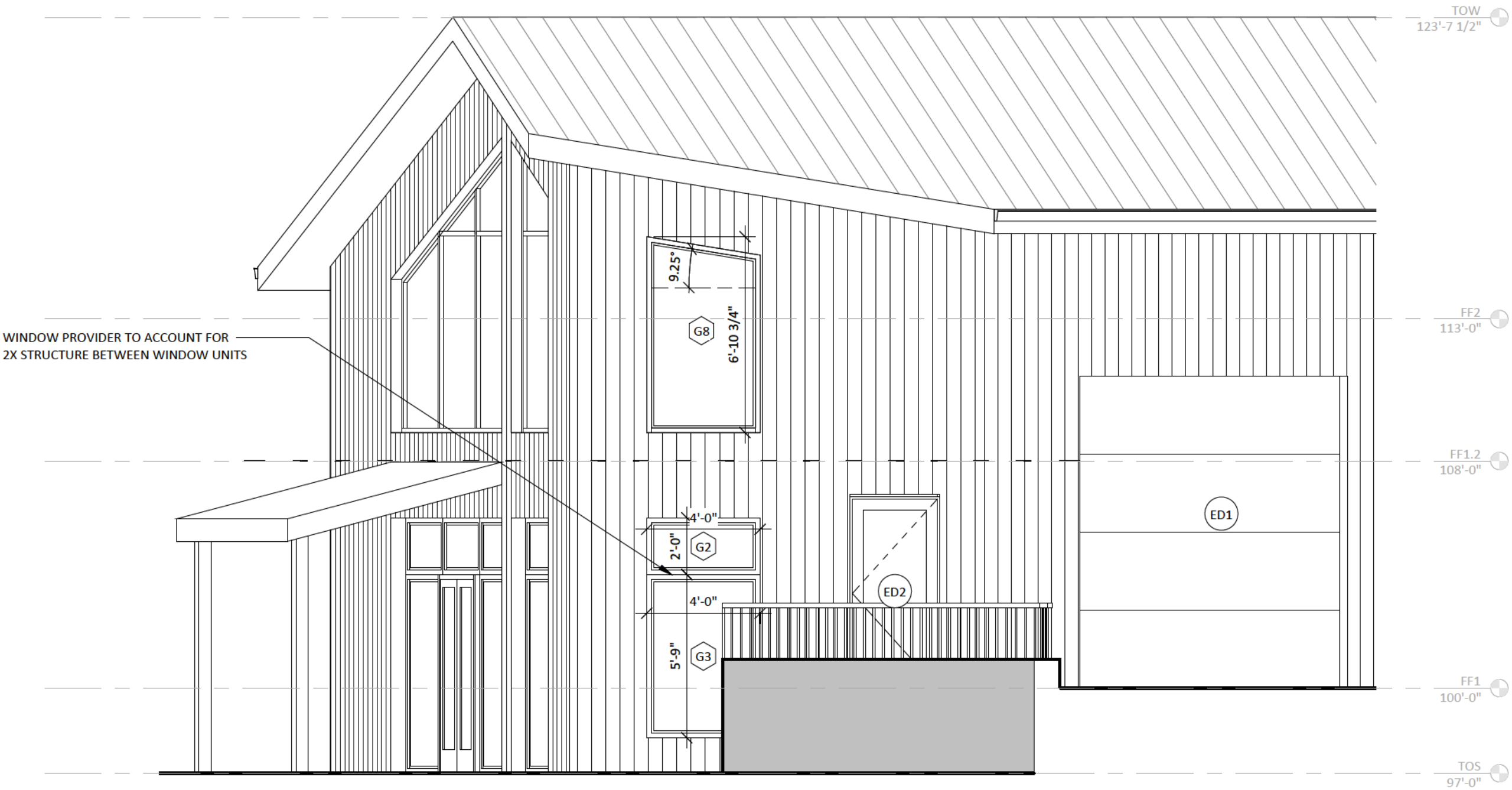
A4 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



A1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



F1 EXTERIOR ELEVATION - NORTHWEST
1/4" = 1'-0"

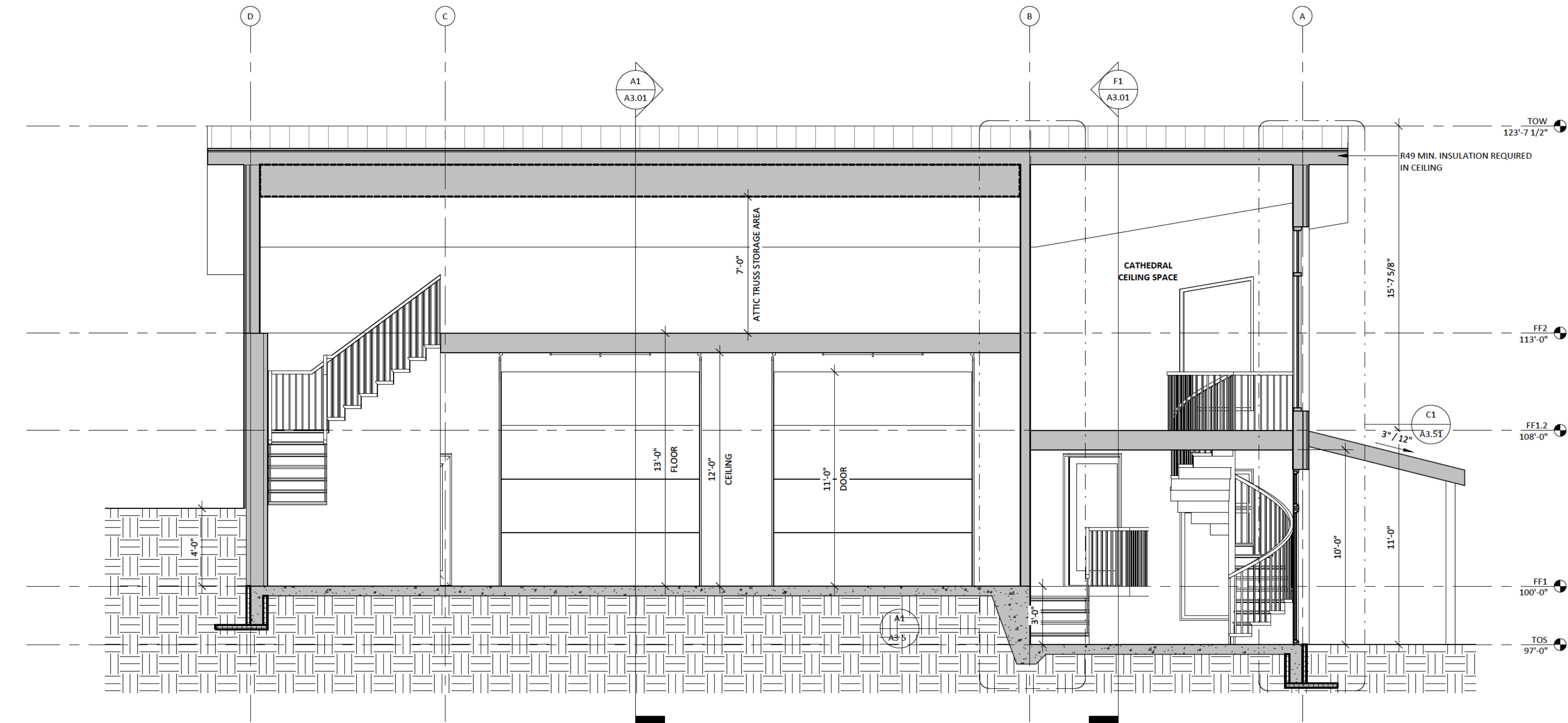


PROJECT DETAILS

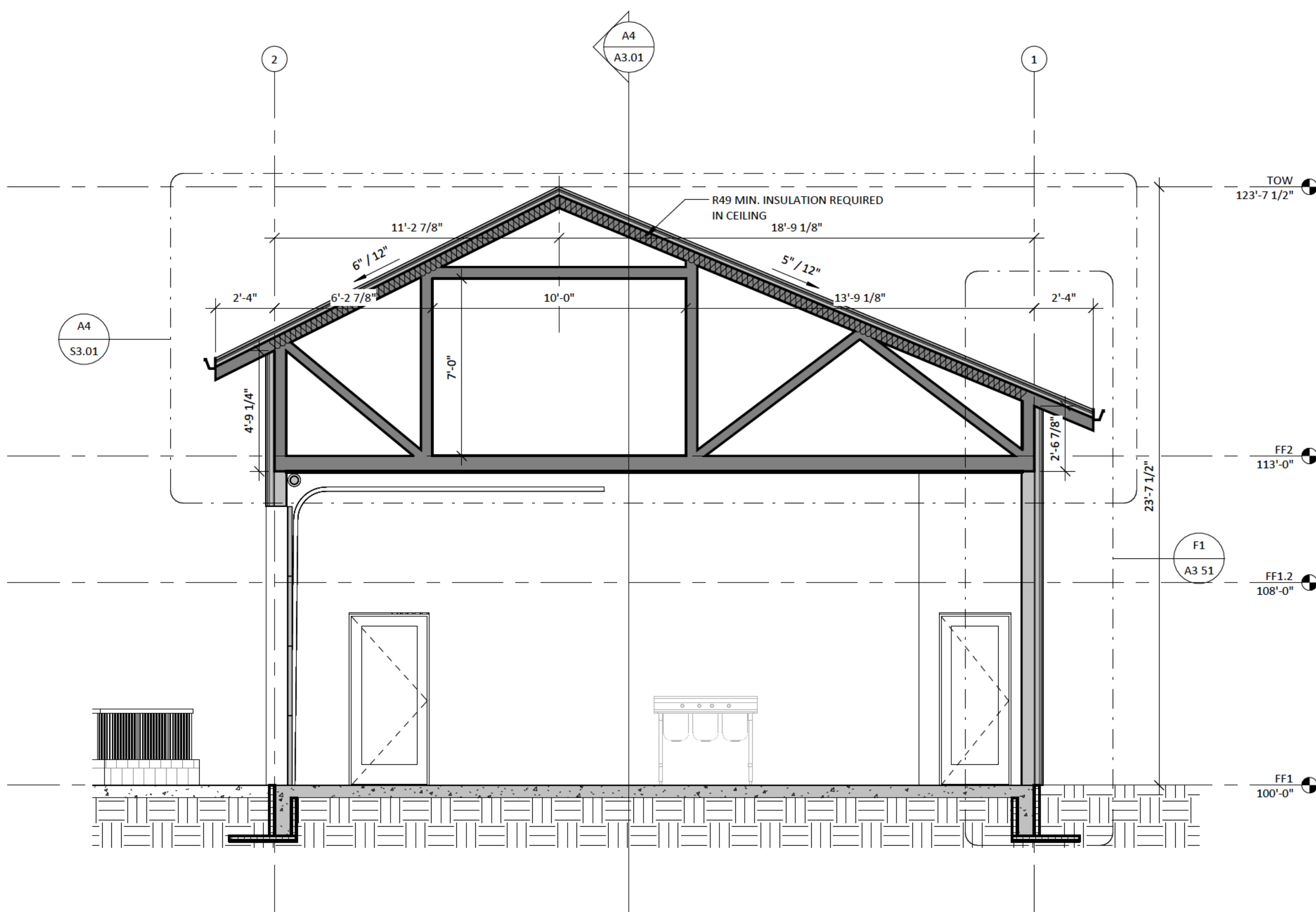
PROJECT NAME: PROJECT NO:
REILLY GARAGE 25037

PROJECT ADDRESS: CLIENT NAME:
1671 TAUGHANNOCK BLVD, BILL REILLY
TRUMANSBURG, NY 14886

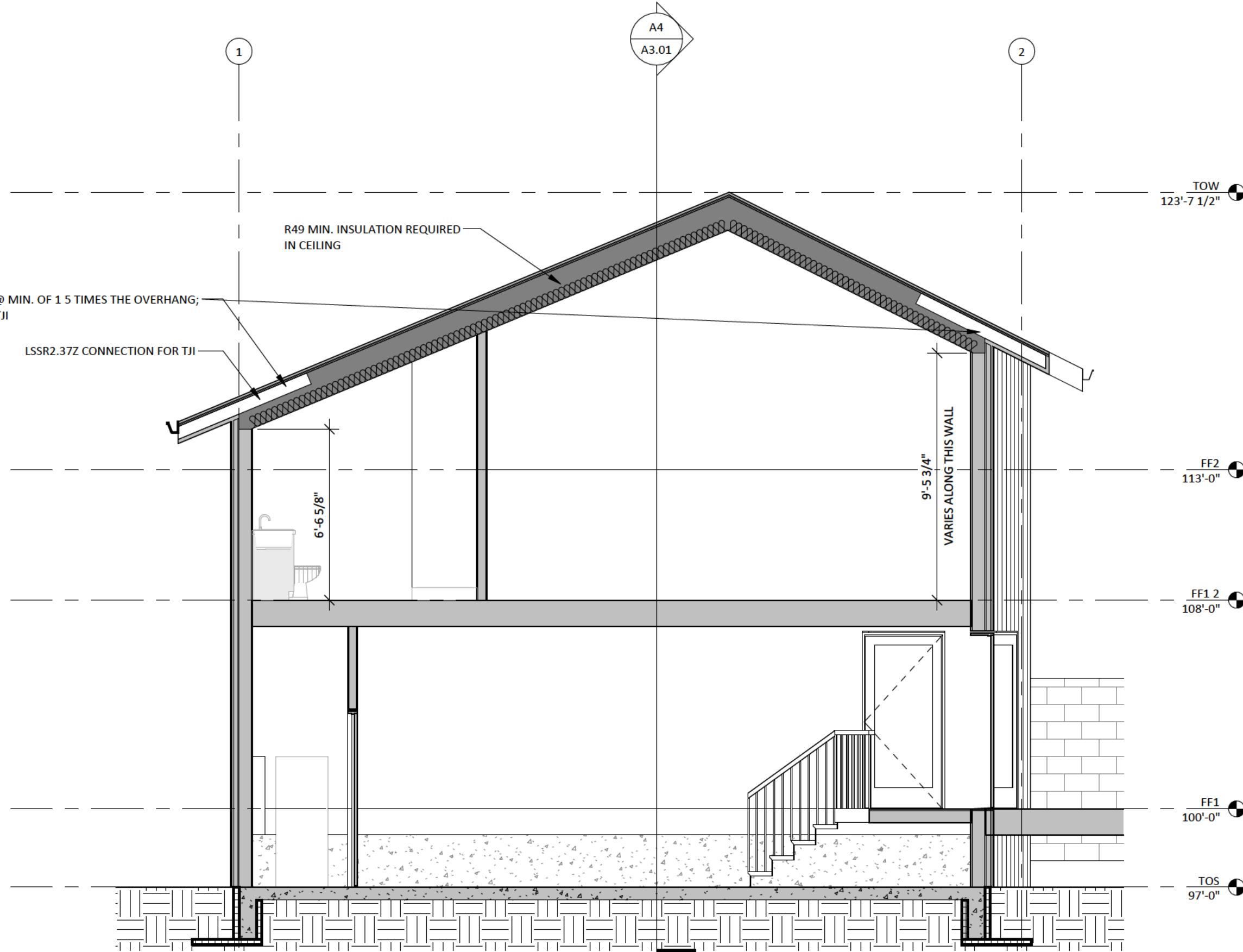
CONSULTANT DETAILS



A4 BUILDING SECTION - NORTH
1/4" = 1'-0"



A1 BUILDING SECTION - EAST
1/4" = 1'-0"



F1 BUILDING SECTION - WEST
1/4" = 1'-0"

REVISION SCHEDULE

REVISION NO. ISSUE DATE

DRAWING DETAILS

DRAWING NAME:
BUILDING SECTIONS

DRAWING NO:

A3.01

ISSUE DATE: DRAWN BY:
SEPTEMBER 26, 2025 JN

PROJECT DETAILS

PROJECT NAME:
REILLY GARAGE

PROJECT NO:
25037

PROJECT ADDRESS:
1671 TAUGHANNOCK BLVD,
TRUMANSBURG, NY 14886

CLIENT NAME:
BILL REILLY

CONSULTANT DETAILS

REVISION SCHEDULE

REVISION NO.	ISSUE DATE
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DRAWING DETAILS

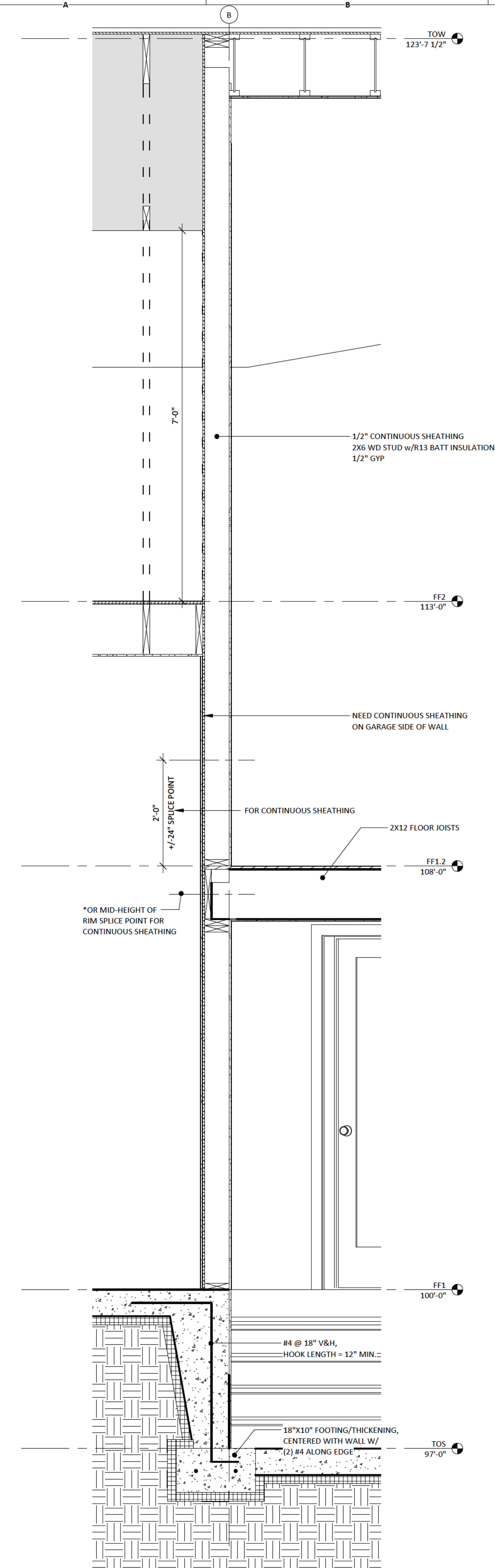
DRAWING NAME:
WALL SECTIONS

DRAWING NO:

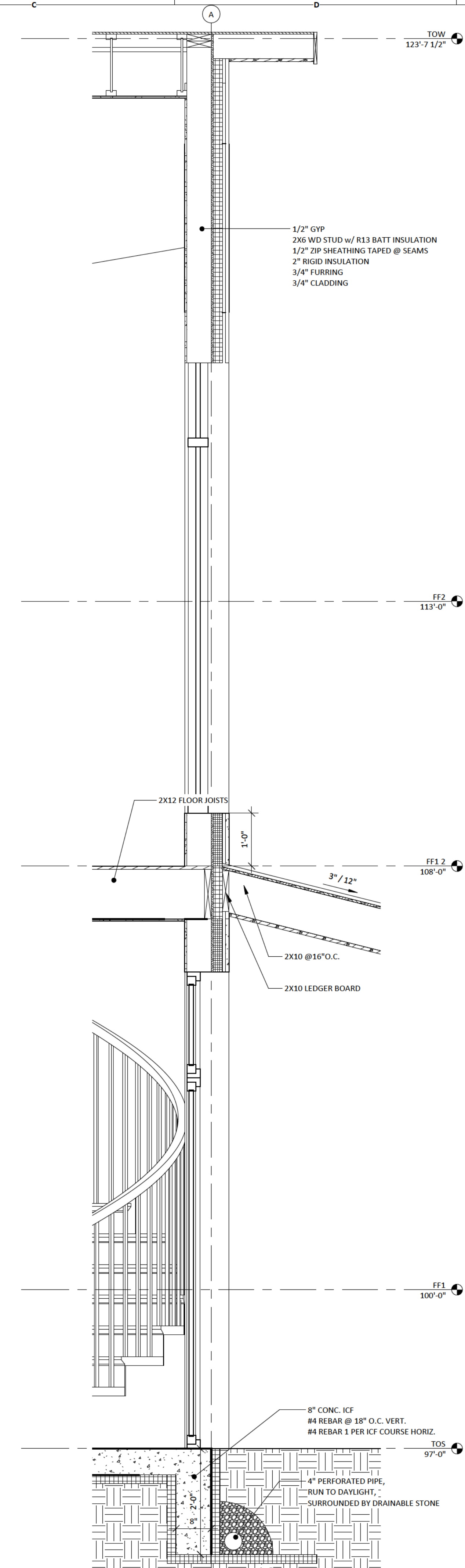
A3.51

ISSUE DATE:
SEPTEMBER 26, 2025

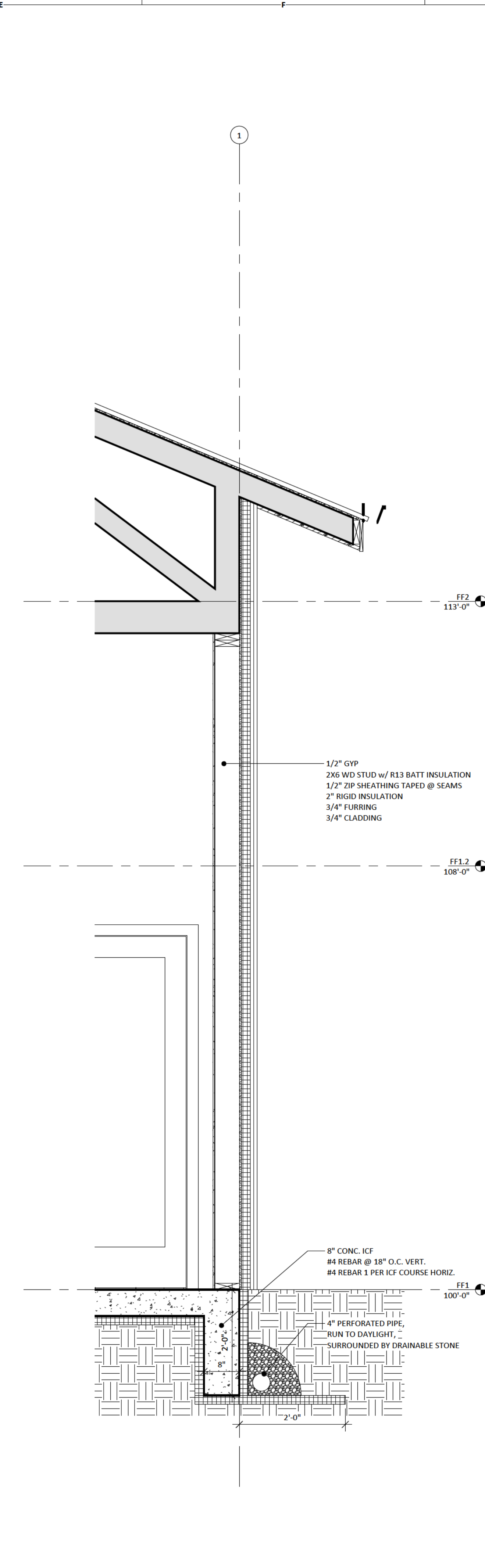
DRAWN BY:
JN



A1 WALL SECTION - DEMISING WALL
3/4" = 1'-0"



C1 WALL SECTION - EXTERIOR GABLE WALL
3/4" = 1'-0"



F1 WALL SECTION - EXTERIOR EAVE WALL
3/4" = 1'-0"